



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness and Redevelopment Plan Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, February 8, 2022, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at <https://www.stpete.org/connect-with-us/stpete-tv.php>.

According to Planning & Development Services Department records, no Commission member or his or her spouse has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.



South end of Lang's Bungalow Court



North end of Lang's Bungalow Court

Case Nos.:	21-90200022 and 22-51000001
Address:	335 Lang Court North
Legal Description:	LANG'S BUNGALOW COURT, LOT 8
Parcel ID No.:	19-31-17-49932-000-0080
Date of Construction:	Currently vacant of residential units. Front yard contains original hexagon block walkway and corner pier flanking front walk.
Local Landmark:	Lang Court Local Historic District (14-90200002)
Owner:	Coady Development Partners LLC

Overview

The application proposes a Certificate of Appropriateness (COA) review for new construction of a single-family residence on a contributing property in a local historic district, and a request for a Redevelopment Plan to allow for a single-family dwelling unit within the DC-2 zoning district. Section 16.70.015 and 16.80.010 of the City Code requires the CPPC to act on historic and archaeological matters, including acting as the Land Development Regulation Commission (LDRC) for the purposes of and as required by the Community Planning Act to review and evaluate proposed modifications to the Land Development Regulations related to historic and archaeological preservation, to review and evaluate proposed historic designations, certificates of appropriateness and any other action to be performed pursuant to the Historic and Archaeological Preservation Overlay Section.

This report addresses first a review of the COA request and then a review of the Redevelopment Plan application.

Historical Context and Significance

Lang's Bungalow Court (the subject district) is one of St. Petersburg's few surviving examples of the bungalow court form of development that gained popularity during the 1920s as local housing was increasingly built to cater to seasonal residents. It is the only example of the development typology that is designated as a local historic district, though as many as a dozen or more existed by the mid-twentieth century. Bungalow court developments typically featured between six and 20 residential units housed in a collection of single-family residences, though sometimes duplexes were also included. Bungalow courts are defined by the residences' relationship to a shared central walkway or courtyard that was designed to be accessible only to pedestrians.

In addition to its significant site design, the subject district gains importance from its association with early St. Petersburg mayor and booster Al Lang, who developed the cluster of residences downtown beginning in 1915. The property's 10 historic residences exhibit a number of architectural styles ranging from Craftsman to Colonial Revival, but they are united by their small scale. Setbacks are minimal at side and rear elevations, but contributing buildings consistently feature oversized front setbacks (averaging approximately 50 feet) from the central sidewalk and front porches that engage the semi-private front yards. General information about the size and setbacks of the subject district's contributing properties, and that of the proposed residence, follow in the tables below.

Table 1: Floor Area Ratio (FAR) of existing contributing residences in subject district and proposed building. FAR includes living space and enclosed garages but not open porch space.

Address	Floor Area Ratio
335 Lang Ct N (Proposed)	0.81
334 Lang Ct N	0.63
353 Lang Ct N	0.56*
361 Lang Ct N	0.48*
336 Lang Ct N	0.42*
Contributing Property Average	0.41

349 Lang Ct N	0.41
852 4th Ave N	0.37
332 Lang Ct N	0.35
345 Lang Ct N	0.29
858 4th Ave N	0.27
370 Lang Ct N	0.27*

**FAR includes square footage of a detached garage or accessory building on these parcels because it is enclosed square footage.*

Table 2: Living square footage in subject district and proposed residence

Address	Living SF
335 Lang Ct N (Proposed, 2 stories)	3,006
361 Lang Ct N (2 stories)	2,658 (incl. garage apt.)
334 Lang Ct N (1.5 stories)	2,239
353 Lang Ct N (2 stories)	2,208
852 4 th Ave N (1.5 stories)	1,947
Contributing property average	1,718
349 Lang Ct N (1.5 stories)	1,679
332 Lang Ct N (2 stories)	1,589
336 Lang Ct N (1.5 stories)	1,419
345 Lang Ct N (2 stories)	1,230
858 4 th Ave N (1 story)	1,183
370 Lang Ct N (1 story)	1,027



Figure 1: Setback line of existing contributing resources with proposed site plan (not to scale). Aerial image via Google Earth.

Certificate of Appropriateness Project Description and Review

Project Description

The COA application (Appendix A) proposes the construction of a new single family residence with the following characteristics:

- 3,066 square feet of living space with an attached garage at the south side elevation
- 3,451 square feet of enclosed space, for an FAR or 0.81
- Two full stories with a front-gabled shingle roof with a peak of 30 feet from the ground floor level

- A front setback of 45.75 feet from the edge of the Lang Ct. sidewalk to the building façade
- An 8.5 foot deep front porch sheltered by a shed roof with a cross-gable/pediment highlighting the front door
- Hardie Board lap siding and shingle accents.

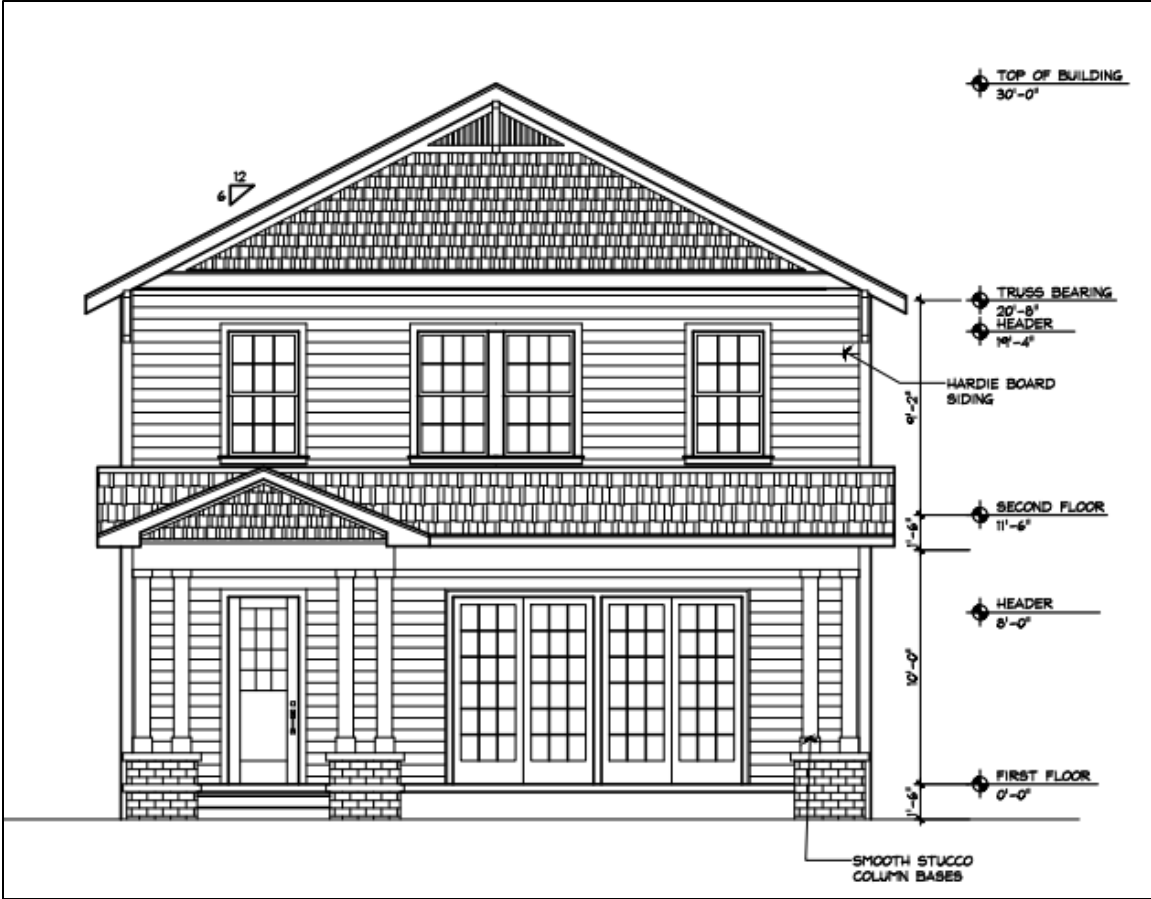


Figure 2: Façade (west elevation) of proposed residence

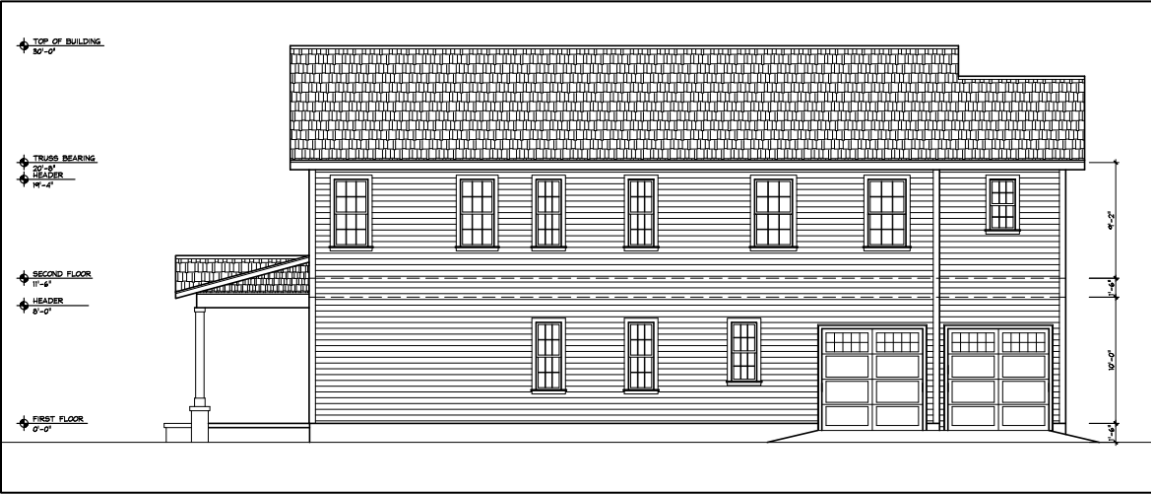


Figure 3: South elevation (to face Calla Terr. N.) of proposed residence

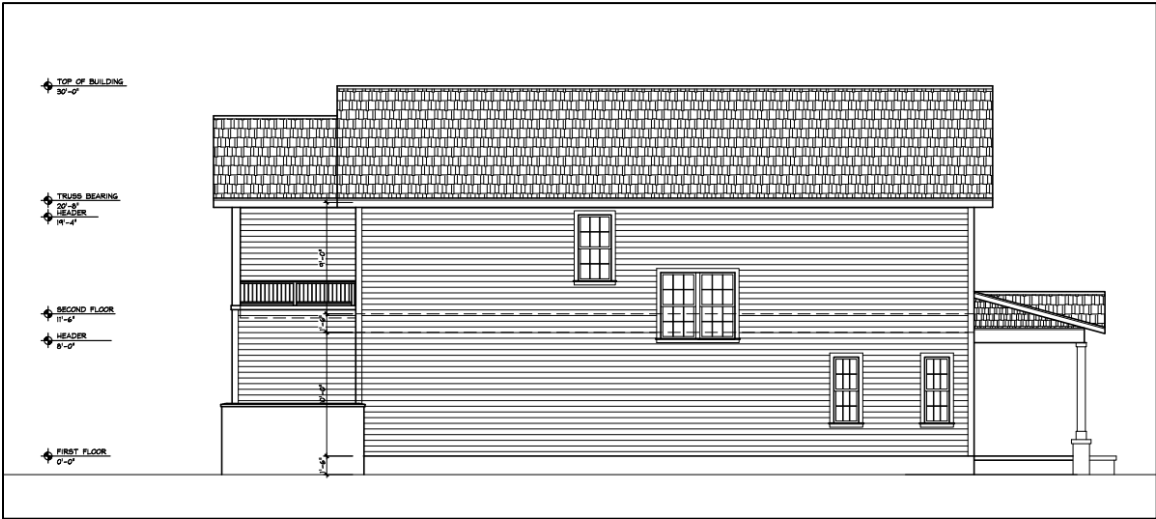


Figure 4: North elevation (to face neighboring property at 345 Lang Ct. N.) of proposed residence

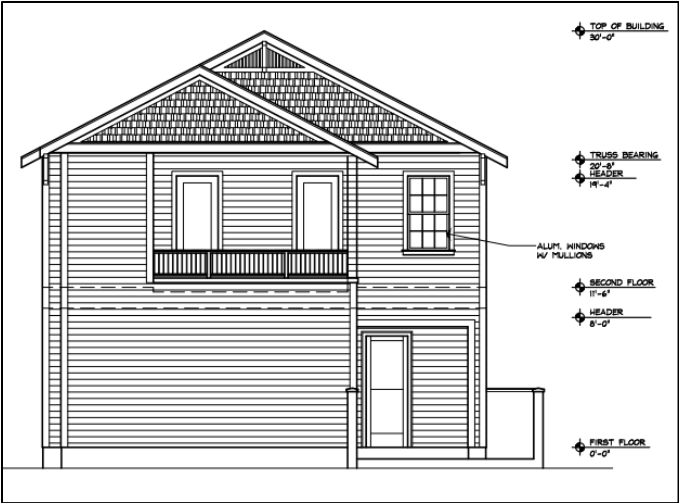


Figure 5: East elevation (to face rear alley) of proposed residence

General Criteria for Granting Certificates of Appropriateness and Staff Findings

- 1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Consistent

This application presents a unique situation in which the subject district is characterized by its collection of small-scale single family residences despite the fact that the contemporary zoning category for the surrounding area encourages higher-intensity use. Although it is somewhat larger than the average contributing property in the subject district, the proposed residence is compatible in use, form, and overall design, and is therefore consistent with this criterion.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent The importance of the central pedestrian spine, open front yard, and engaging front porch has been stressed during the design review process as a key element of a successful proposal for new construction in this location. Staff finds that the proposed residence successfully meets this criterion.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Consistent The proposal continues the large setback and building rhythm of the subject district.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

Not applicable There is no indication that denial of a COA would adversely affect the property owner's reasonable use of the subject property.

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent The proposed project appears to be appropriate under this criterion.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

Consistent The contributing resources at the subject property were demolished following COA approval in 2016, and the subject parcel has since remained vacant. New construction at the site will be noncontributing to the district. The proposed residence is appropriate in scale and will not adversely impact remaining contributing properties in the subject district.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

Partially consistent The proposed addition will be two stories in height with a 6:12 pitched gabled roof. This is consistent with other contributing properties in the subject district (see Appendix C). Of the subject property's 10 contributing properties, eight feature a full or partial second story, of which four are fully two stories in height and four are 1.5 stories, meaning that they feature enclosed upstairs living space that is visually incorporated into the roof form.

The proposed residence is 30.75 feet wide, which is close to the average façade width of contributing buildings of 27.90 feet. However, the subject property's wider residences tend to occupy wider parcels, as shown below. The proposed

residence occupies a greater proportion of its parcel's width than the average of contributing residences. This is reflected in the FAR data.

Table 3: Height and width of building facades and parcels within subject district

Address	No. Stories	Façade Width	Parcel Width
852 4th Ave N	1.5	38.00	58.90
361 Lang Ct N	2	36.00	60.00
335 Lang Ct N	2	30.75	38.00
334 Lang Ct N	1.5	30.00	40.00
353 Lang Ct N	2	30.00	40.00
370 Lang Ct N	1	28.00	40.00
Contributing property average		27.90	43.79
858 4th Ave N	1	25.00	39.00
332 Lang Ct N	2	24.00	40.00
336 Lang Ct N	1.5	24.00	40.00
349 Lang Ct N	1.5	24.00	40.00
345 Lang Ct N	2	20.00	40.00

- The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

Consistent As noted above, the proposed residence's width and height are generally consistent with other contributing residences in the subject district.

- The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

Partially consistent The proposed residence features six-over-six sash windows arranged both individually and in paired units. This is a common configuration in houses dating to the subject district's period of significance. Staff would like to note two opportunities for minor changes to create a more traditional rhythm that would not impact the proposal's floorplan.

First, the façade features an unbroken unit of four French doors, creating an opening of 12.33 feet facing the front porch. French doors are not uncommonly found on historic homes in similar locations, providing views and access between a living area and a front porch. A set of four continuous doors is not traditional, and staff has concerns about the visual impact of such an oversized opening. Doors of the same dimension as proposed, but placed in two separate sets so that each pair is aligned with the windows above, creating a three-bay façade, would create a more traditional rhythm. The added symmetry may also visually mitigate the residence's width.

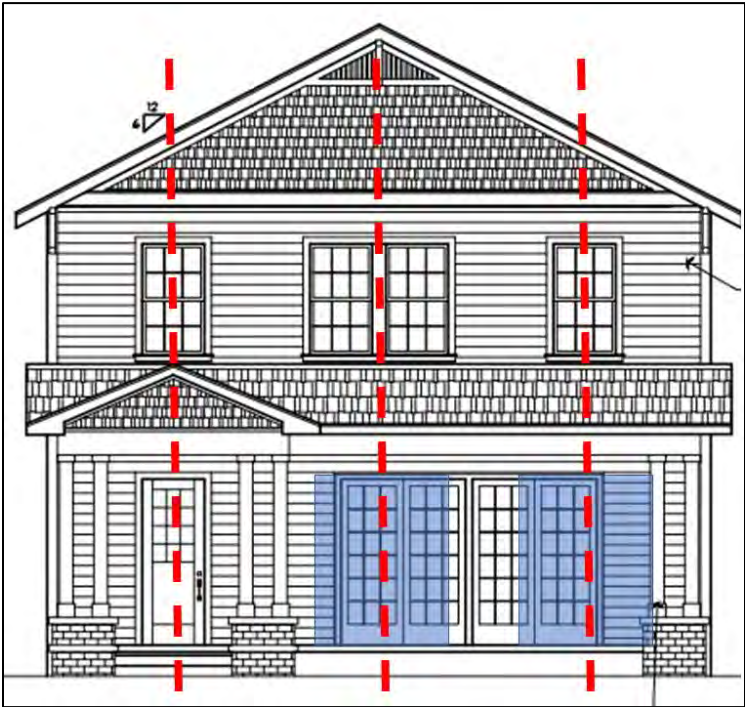


Figure 6: Proposed placement of French doors and centerlines of three-bay facade

Secondly, staff suggests that the windows highlighted below, which face Calla Terr. N., be modified to be a consistent width. Windows in kitchens and bathrooms are often smaller than those in living spaces and bedrooms in historic homes, but the proportions of the openings to bedrooms, dining rooms, and offices (such as those highlighted) are generally consistent. This slight modification, too, would increase the consistency of rhythm.

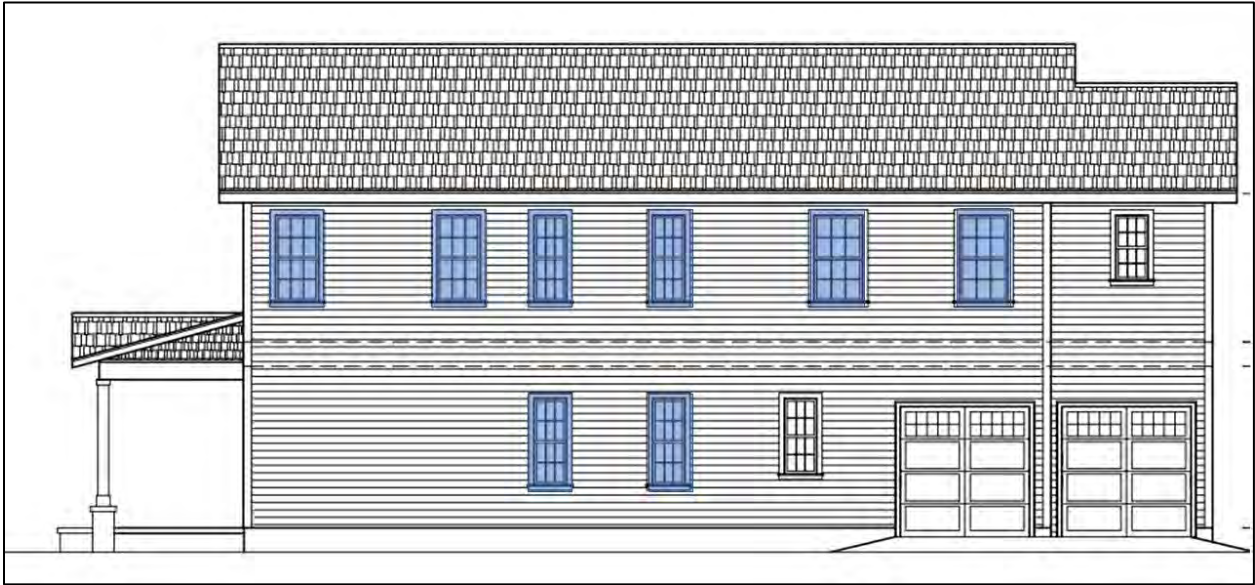


Figure 7: Windows with differing proportions at south elevation

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

Partially consistent A centered front door appears to be most typical among contributing resources in the subject district. However, the minor change to the proposed French doors recommended in the criterion above would significantly improve the proposed residence's overall symmetry and rhythm.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

Generally Consistent The open front yard, engaged by a broad covered porch, has been identified as one of the most important features of the subject district. The proposed residence appropriately replicates this arrangement.

The proposed residence gains space with reduced setbacks at the rear and side elevations compared to other contributing properties in the subject historic district. Although the proposal diverges from the precedent set by neighboring contributing properties in this way, staff finds it to be an appropriate area of compromise to allow the applicant to construct a new home with contemporary amenities and floorplan while limiting the impact to the subject district.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

Partially consistent The shape of the front porch is not without precedent in homes from the subject district's period of significance. However, porches in the subject district tend to be either integral (recessed within the main roof form), or fully front-gabled. Staff recommends revising the porch roof slightly to eliminate the pediment above the entrance and create either a hipped roof or a straight shed roof at the porch.



Figure 8: Example of a two-story home constructed in 1920 featuring a full-width hipped-roof porch in the nearby North Shore National Register Historic District. 261 7th Ave. N., image via Google Street View



Figure 9: Proposed residence with hipped-roof porch



Figure 10: Proposed residence with shed-roof porch

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

Consistent The proposed residence is clad with Hardie Board lap siding with shingle accents and an asphalt shingle roof. The proposed windows are aluminum. Through their application, these contemporary materials will visually replicate the traditional wood siding and wood sash windows of the subject district

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

Consistent The front-gabled form is consistent with contributing resources in the subject district. As noted above, staff suggest a slight modification of the front porch's roof shape to increase consistency.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

Partially consistent A four-foot fence is proposed to surround the front yard. Staff suggests this be reduced to three feet. The Placement is compatible with other enclosures in the subject district.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

Consistent The new construction will be visually compatible with the other historic structures on the property.

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

Consistent As discussed above, the front greenspace and porch are highly significant aspects of the subject district. The proposal successfully replicates these elements.

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

Consistent The duplex previously at the site has been demolished.

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

Consistent The proposed residence could be removed without affecting the subject district.

Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 5 of 5 relevant criteria met.

- Additional Guidelines for New Construction: 13 of 13 relevant criteria fully or partially satisfied. Staff finds these criteria could be satisfied with minor changes to the proposed residence's design, which would not affect the building's size, use, or floorplan.

COA recommended conditions of approval are included on page 20 of this report.

Redevelopment Plan for a Single-family Use (File 22-51000001)

Request

The property owner is requesting approval of a redevelopment plan to allow for the redevelopment of a grandfathered dwelling unit within the DC-2 zoning district. The proposed plan does not require approval of variances and no FAR bonuses are utilized.

Application Review

The applicant has met and complied with the procedural requirements of Section 16.70.040.1.15 of the Municipal Code for site plan review to determine compliance with the criteria for redevelopment plans. The Standards for review are also provided in Section 16.70.040.1.15 and based on the requirements of the individual zoning district which is Downtown Center (DC-2).

The Data Table below provides a comparison of land development information for the existing and proposed development and for the maximum development allowed pursuant to the current zoning district, Downtown Center (DC-2). As such, the site data reflects zoning standards for the applicable DC-2 zoning category. Additional limitations may be imposed by the applicability of a designated local landmark district.

DATA TABLE

SITE AREA TOTAL: 4,237 square feet or 0.10 acre

GROSS FLOOR AREA:

Existing:	N/A	N/A
Proposed:	3,151 square feet *	0.74 F.A.R. *
Permitted:	12,711 square feet	3.0 F.A.R. Base Approval
	29,659 square feet	7.0 F.A.R. Bonus Approval

*The FAR calculations for the DC-2 zoning district does not include unenclosed porches or 300 ft of garage per DC-2 requirements. Therefore, the calculation includes 1,338 sf (1st floor living space) + 1,668 sf (2nd floor living space) + 145 sf (garage) = 3,151 sf.

DENSITY:

Existing:	0 units	N/A
Permitted:	*	*
Proposed:	1 dwelling unit	(10.3 units per acre)

* Maximum density in any downtown center district shall be limited by FAR. Units per acre do not apply.

BUILDING COVERAGE:

Existing:	N/A	N/A
Proposed:	2,239 square feet	53% of Site MOL
Permitted:	4,025 square feet	95% of Site MOL

IMPERVIOUS SURFACE:

Existing:	190 square feet	4.5% of Site MOL
Proposed:	2,643 square feet	62.4% of Site MOL
Permitted:	4,131 square feet	97.5% of Site MOL

PARKING:

Existing:	0 spaces
Proposed:	2 spaces
Required:	2 spaces

BUILDING HEIGHT:

Existing:	N/A
Proposed:	30 feet
Permitted:	125 ft base, 150 ft w/streamline approval, 200 ft w/public hearing

Discussion and Recommendations

Background: The subject property is located in Lang's Bungalow Court Local Historic District and is zoned Downtown Center (DC-2). The purpose of the DC-2 district provides for intense residential development that allows for a mixture of uses that enhance and support the core and surrounding neighborhoods, including the domed stadium. The district also allows support retail and office uses which assist the residents with the daily needs of living within this highly urbanized neighborhood. The district establishes performance standards and design guidelines appropriate to urban form residential buildings. The DC-2 zoning district allows single-family as a grandfathered use.

The Land Use designation is Central Business District (CBD) and is within the Intown Activity Center overlay. The CBD designation allows a mixture of higher intensity retail, office, industrial, service, public school and residential uses up to a floor area ratio of 4.0.

The lot is approximately 111.5 feet in depth by 38 feet in width containing approximately 4,237 s.f., conducive to single family as well as multifamily uses. The historic building on the lot was demolished in 2017 and was one of the original buildings in Lang's Bungalow Court. There are currently 10 single family homes, one duplex, two parking lots and the vacant subject property on the block. The area surrounding the Lang's Court block has several vacant properties and includes office and commercial properties along Dr. Martin Luther King Jr. St N and a couple of single family homes to the east that are currently under renovation. Immediate surrounding uses include: a parking lot, a duplex and single family to the west; single-family to the north; vacant lots, single-family and multi-family to the east; and the St. Petersburg Free Clinic and multi-family to the south.

Section 16.70.040.1.15. Redevelopment of Grandfathered Uses of the City Code has eliminated the time limit for properties in Local Historic Districts to redevelop as single-family uses when the predominant pattern on the block is single-family residential homes. In this case Lang's Bungalow Court is comprised of thirteen (13) properties of which there are 10 single-family residences. Based on 10 of 13 properties, single-family is considered the predominant pattern on the block.

Current Proposal: The proposed plan is for one single-family residential unit. The proposed building is two stories and has been designed to follow front setbacks consistent with the existing houses on the block and in conformance to the required DC-2 district. The attached garage is accessed from the side of the residence onto the side alley and contains two parking spaces. While a 4 bedroom house would typically require 2.5 parking spaces (2 spaces up to 3 bedrooms, plus 0.5 space for each additional bedroom), Section 16.40.090.3.2. - *Minimum number of parking spaces required* provides flexibility in reducing or modifying parking standards. When a property is located within 1/8-mile of a high frequency transit route the minimum number of parking spaces required may be reduced by 10 percent. A reduction of 10 percent brings the parking requirement to 2.25 spaces which is rounded down to 2 spaces.

Pedestrian access to the house is from the north/south centrally located historic hexagon block walkway providing pedestrian access to all homes within Lang's Bungalow Court. A walkway to the residential structure is proposed from the central Lang's Court hexagon block walkway to the front porch.

Standards for Review: The Code *Subsection 16.70.040.1.15 Redevelopment of Grandfathered Uses*, provides conditions, requirements and criteria to follow in the redevelopment process. Conditions and

requirements include that new structures shall comply with the design and dimensional requirements of the zoning district in which the property is located. Standards of Review are provided as a guide for the CPPC planning decision. Some of the criteria is based on review of the existing development on the block and other criteria is based on the current zoning designation, Downtown Center (DC-2). It is challenging to compare development from 1915 to the current development trends and code requirements because, the differences in several instances are significant. However, in following the requirements of *Subsection 16.70.040.1.15 Redevelopment of Grandfathered Uses* the redevelopment must be reviewed for compliance with the following criteria:

1. **Building Type** (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.). Structures shall be required to match the predominate building type in the block face across the street.

Consistent

Structures on the block face across the Lang Bungalow Court pedestrian walkway include five (5) single-family residences, one (1) duplex and one (1) parking lot. Thus, with five (5) single-family residential units on the block face across the Lang Court pedestrian walkway, it is determined that the predominate building type is single-family.

2. **Building Setbacks** (including both perimeter and interior setbacks). Structures shall be required to match the predominate building setbacks in the block face across the street.

Front Yard Setback:
Somewhat consistent

The average front porch setback for the block face across the Court is 45.4 ft the average front building setback is 49.3 ft for the single-family structures. The front porch of the original structure was setback approximately 45 ft from the property line. The front porch setback for the subject property is 41.8 ft and the single-family building setback is 50.8 ft. The front porch setback is within 7.9 percent of the average setback and the single-family structure setback is within 3 percent of the average setback. However, based on the table of both the front porch and building setbacks there is no predominant front setback over 50 percent. It is important to note that 330 Lang Court is the newest development (duplex) with the smallest setbacks and is within the block face across the street. 330 Lang Court is a non-contributing resource to the Local Historic District.

Lang Court Porch and Front Setbacks

Block Face Addresses Across the Court	Front Porch Setbacks	Building Setbacks
330 Lang Court N	36.75 ft	40 ft
332 Lang Court N	48 ft	56 ft
334 Lang Court N	--	48 ft
336 Lang Court N	48 ft	51 ft
370 Lang Court N	49 ft	52 ft
858 4 th Ave N	--	48.75 ft
Average Setback	45.4 ft	49.3 ft

Side yard Setback:
Consistent on South;
Consistent on
Northside

Due to the narrow lots and location within the Downtown Center zoning district, the side setbacks are generally small. The typical side yards on the block face across the pedestrian Lang Bungalow Court walkway range from 3-10 ft in width, with one interior side having a smaller setback (3-6 ft) and the opposite side yard having a larger setback (5-10 ft). For the subject parcel, the north side setback is 3 ft and the south side setback ranges from 3-5 feet. The property to the north has a 4 ft setback for a total setback of 7 ft between the two buildings. The current setback along the north property line is consistent to the original residence on the property and is consistent to the smaller side yard setbacks.

The original structure was setback 5.3 - 6.3 ft from the south property line. While this proposed setback along the side alley is smaller than the original by 1.5 – 3 ft, it is within the lower range of consistency to properties across the pedestrian walkway.

The proposed setbacks meet the DC-2 requirements. The DC-2 district allows for the required minimum distance between buildings to be split equally between adjacent properties. When determining setbacks, the DC-2 district uses the terms “window wall” or “blank wall”. The window wall is defined as a wall with more than 50 percent glazing. None of the walls proposed have over 50 percent glazing and are considered blank walls. In the DC-2 district, blank wall to blank wall, up to 50 ft in height are allowed a 0 ft setback. It is important to note that the DC-2 district is designed for intense residential development in urbanized neighborhoods.

3. **Building Scale** (e.g. one-story or two-story principal structures). Structures shall be required to match the predominate scale in the block face across the street.

Consistent - two story

One- and two-story residential structures are present within the surrounding neighborhood. Within Lang Bungalow Court there are eight 2-story single-family structures and two 1-story single-family structures.

On the block face across the Court pedestrian walkway is a 3-story duplex, three single-family units with a full or partial second story, and two 1-story units. The proposed two-story structure is consistent with the building scale of the block face across the Lang Court pedestrian walkway.

The building has been designed to break up the scale and massing along the front setback line by providing a front porch with a separate roof structure. From the southside, the porch provides relief at the west end of the building and towards the east end there is a slight offset on the south side of the proposed single-family unit providing some relief to the building scale. On the north side, the only relief is from the porch at the west end of the building.

4. **Site Development and Orientation** (e.g. location of buildings, front entries, driveways, parking, and utility functions). Structures shall be required to match the predominate development pattern in the block face across the street or abutting residential use. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.

Consistent

The proposed structures will match the orientation of existing residential structures on the block, all having front entries facing the central Lang’s Bungalow Court pedestrian walkway. The structure will be in the same location on the lot as other buildings on the block. The front porch protrudes slightly (3.5 ft) from the average setback. However, with the amount of natural vegetation in the front and side yards challenges the visibility of many of the residential homes. The single family structure is setback 1.5 ft more than the average setback of the other single family structures on the block. The subject property is a corner lot abutting two alleys. The redevelopment plan includes a garage with required parking facing and accessing the side alley. Other homes on the block access garages or driveways from the alley behind the homes. However, the alleys are substandard in width and most properties do not have adequate parking to meet the parking standards in the current Land Development Regulations (LDRs). The parking meets the DC-2 parking requirements and is designed for alley use.

- 5. Building Mass.** *Building Mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater or the FAR plus bonuses allowed in the zoning district. FAR shall include all enclosed space, including garage and storage space, except that open porches (not screened) and the first 300 sq. ft. of garage space shall be excluded from the existing FAR for each unit.*

Consistent to DC-2

The property is within the Downtown Center (DC-2) zoning district which allows a FAR base of 3.0 and up to 7.0 with bonus approvals. Based on the DC-2 zoning FAR calculation requirements the proposed single-family unit has a 0.73 FAR. The City Code allows options for FAR bonuses that can be utilized for redevelopments. No FAR bonuses are necessary for the structure.

The structure meets the DC-2 setbacks. The proposed building setbacks include:

Front Yard:	41.8 ft (Front Porch) & 51.8 ft (Building)
Interior Side Yard:	3 ft
Alley Interior Side Yard:	3-5 ft
Rear Yard:	1 ft

- 6. Building Height.** *Residential structures for a project less than a city block shall comply with the building height and roof design requirements of the zoning district.*

Consistent to DC-2

The DC-2 zoning district allows a building height of 125 ft as a base height, 150 ft with a streamline approval, and 200 ft with a public hearing approval. The proposed structure height is 30 ft and is in compliance with the applicable building height regulations for a single-family home in the DC-2 zoning district. Roof slopes are appropriate.

- 7. Development Across Multiple Lots.** *Structures shall be separated by zoning district setbacks, however, if not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line which shall be equal to or greater than the combined side yard setbacks that would be required for each lot.*

Not applicable.

- 8. Single Corner Lots.** *Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.*

Consistent

This redevelopment project is situated on the corner of Lang’s Bungalow Court pedestrian walkway and two alleys, with the legal front yard oriented to the Lang’s Bungalow Court pedestrian walkway. All single-family structures on the block are oriented towards the legal front yards facing the Lang’s Bungalow Court pedestrian walkway. The front porch faces and accesses Lang’s Bungalow Court pedestrian walkway.

- 9. Traditional Grid Roadway Network.** *For projects equal to or greater than a platted block, extensions of the traditional grid roadway network shall meet the following requirements: 1) about the perimeter of the project area; or 2) would logically be extended through the project in compliance with applicable subdivision and public improvement regulations.*

Not applicable.

- 10. Non-Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, roadway networks shall meet the following requirements: 1) there should be at least two (2) points of entry into the project; 2) sidewalk connections shall be made to surrounding streets; 3) streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or are anticipated to be redeveloped in the future.*

Not applicable.

- 11. Density and Intensity.** *Redevelopment projects shall not exceed the legally grandfathered number of units or intensity of use. For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal mobile home spaces(lots) within the park prior to redevelopment, or 140-percent of the maximum density of the future land use designation assigned to the property, whichever is less. No variance from this requirement shall be approved.*

Consistent

The proposed project does not exceed the legally grandfathered number of units.

Public Comments

The application was sent to the Council of Neighborhood Associations, the Downtown Residents Civic Association, the Downtown Business Association and the Dr. MLK Business District. No comments have been received from the Neighborhood Associations. A letter was received from Preserve the ‘Burg which addresses their concerns about the proposed development. This letter is attached in the Appendices.

Staff Recommendations and Conditions of Approval

COA Recommendation (21-90200022)

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve** the Certificate of Appropriateness request for the new construction of the residence at 335 Lang Ct. N., with the following conditions:

1. Windows and doors will be installed to be setback within the wall plane and feature a reveal of at least two inches, and feature contoured, exterior three-dimensional muntins to reference historic texture
2. The French doors at the building's façade will be separated into two paired units to align with the center points of the second-story windows, as shown in Figure 6 of this staff report.
3. The windows at the south elevation which face living space or bedrooms be revised to feature a consistent height and width.
4. The porch roof shape be revised to remove the front-facing pediment and feature a hipped roof, as shown in Figure 9 of this staff report.
5. The proposed front fence be reduced to three feet in height and be constructed of wood or metal with vertically oriented posts arranged in a traditional design.
6. A historic preservation final inspection will be required.
7. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
8. This approval will be valid for 24 months from the date of this hearing, with an expiration date of February 8, 2024.

Redevelopment Plan Recommendation (22-51000001)

This report reviews the redevelopment of a property to single-family residential in an area within the designated Central Business District and Activity Center. The subject property is also located within the Lang's Court Local Historic District which is predominantly historic single-family homes. The criteria and standards for this review are divergent in that some of the criteria requires a comparison of the existing development which mostly consists of historic homes constructed in the early 1900s to the individual zoning criteria for an urban downtown that is designed for intense multi-family residential development.

A summary of the development criteria provides the basis for staff's recommendation:

Building Type:

Consistent	The proposed building matches the predominant buildings across the block face.
------------	--

Building Setbacks:

Somewhat Consistent	
Front Yard	The only zoning district that comes close to requiring a 48 ft front yard is the Neighborhood Suburban Estate (NS-E) district which requires a 45 ft front yard setback and a minimum lot size of 1 acre. Staff finds it

unreasonable to hold the developer to an exact setback when a reasonable setback distance is provided and is within 8 percent of the average front porch setback and 4 percent of the average building setback.

Somewhat Consistent
Southside
Consistent Northside

The setback falls within the lower end range of other side yard setbacks across the Lang’s Bungalow Court walkway.
The north side yard is within the lower range, the distance between the subject single family and the existing single-family to the north is 7 feet and the new single family structure.

Building Scale:

Consistent

The proposed residential unit is 2-story, the predominant scale across the Lang’s Bungalow Court pedestrian walkway. However, a little articulation on the sides of the proposed structure would add some relief. A 2-story single-family constructed in 1915 does not have the same height as a single-family building that meets today’s standards. Staff acknowledges that the porch elevations and ceiling heights have different development standards than in the early 1900s.

Site Development and Orientation:

Consistent

The proposed single-family unit matches the orientation of other homes facing the Lang’s Bungalow Court pedestrian walkway.

Building Mass:

Consistent

The structure meets the DC-2 zoning standards.

Building Height:

Consistent

The DC-2 meets the requirements of the DC-2 district.

Single Corner Lots:

Consistent

The single-family building faces the legal front yard .

Density and Intensity:

Consistent

The proposed project does not exceed the legally grandfathered number of units.

Based on this review, staff finds that the proposed development is consistent with the criteria provided in the Code. The proposed single family does have a larger mass and scale, however, in using the criteria as a guide in the evaluation of the proposed redevelopment. Staff finds the proposed redevelopment consistent with the criteria contained within the City Code, the Planning and Development Services Department Staff recommends **approval** of the request for the redevelopment of a single-family dwelling unit in the DC-2 district. This recommendation is limited to the criteria for the Redevelopment Plan request only and does not include a separate evaluation and recommendation by Historic Preservation staff regarding the Certificate of Appropriateness.

CONDITIONS OF APPROVAL:

1. Approval of the variance does not grant or imply other variances from the City Code or other applicable regulations.
2. Landscaping shall comply with the landscaping requirements of the City Code *Section 16.40.060.2.1 and the Downtown Center (DC-2) District.*
3. The parking shall comply with the single family site design standards for DC-2 district and *Section 16.40.090. – Parking and Loading, Design Standards.*
4. The structure shall comply with all fire building construction standards and property maintenance.

Appendix A:

COA Application No. 21-90200022

Laura Duvekot

From: Brett Coady <bmc@coadydevelopment.com>
Sent: Monday, February 15, 2021 10:35 AM
To: Laura Duvekot
Cc: Ralph Schuler; Brett Coady
Subject: 335 LANG COURT - SUBMISSION
Attachments: LANG COURT APPLICATION.pdf; 335 LANG CT SUBMISSION 2-2-2021.pdf; ST PETE HISTORICAL APP.pdf; IMG_0827.jpg; IMG_0826.jpg; IMG_1100.PNG

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Laura,

Please see attached.

Included in this email are: elevation, plan & site drawings, and the application packet for consideration by the St. Petersburg Community Planning and Preservation Commission.

As you will notice, our intention is to develop this property with consideration to highest and best use, while simultaneously contributing to the historical nature of this very unique street. Initially, and granted the broad zoning parameters that have been assigned to this parcel, we intended to make use of a multi-family property; however, this idea was quickly redacted given the requirements of the historical nature of this area, the narrow lot width, as well as taking into consideration the ability for us to contribute to the over 100 year-old nature of this unique Bungalow Court.

After extensive conversations with our architect and designer, Ralph Schuler, our overall plan shifted to creating a large, single family residence that would amalgamate the desirability of Downtown St. Pete, while simultaneously offering the amenities provided by a home, well suited to a large, urban family. As such, I believe that you will find that our design both embodies the traditional elements of the Farmhouse Vernacular Style that is congruent with existing Lang Court homes, as well as integrates the obvious nature of a transitional lot that abuts high density use and is granted CBD zoning.

Should you research the history of our company, you will discover that we have been effective at both contributing to, and improving the value of the communities in which we have spent our time. I am glad to provide references from both owners and happy neighbors of properties that we have previously developed in historical areas.

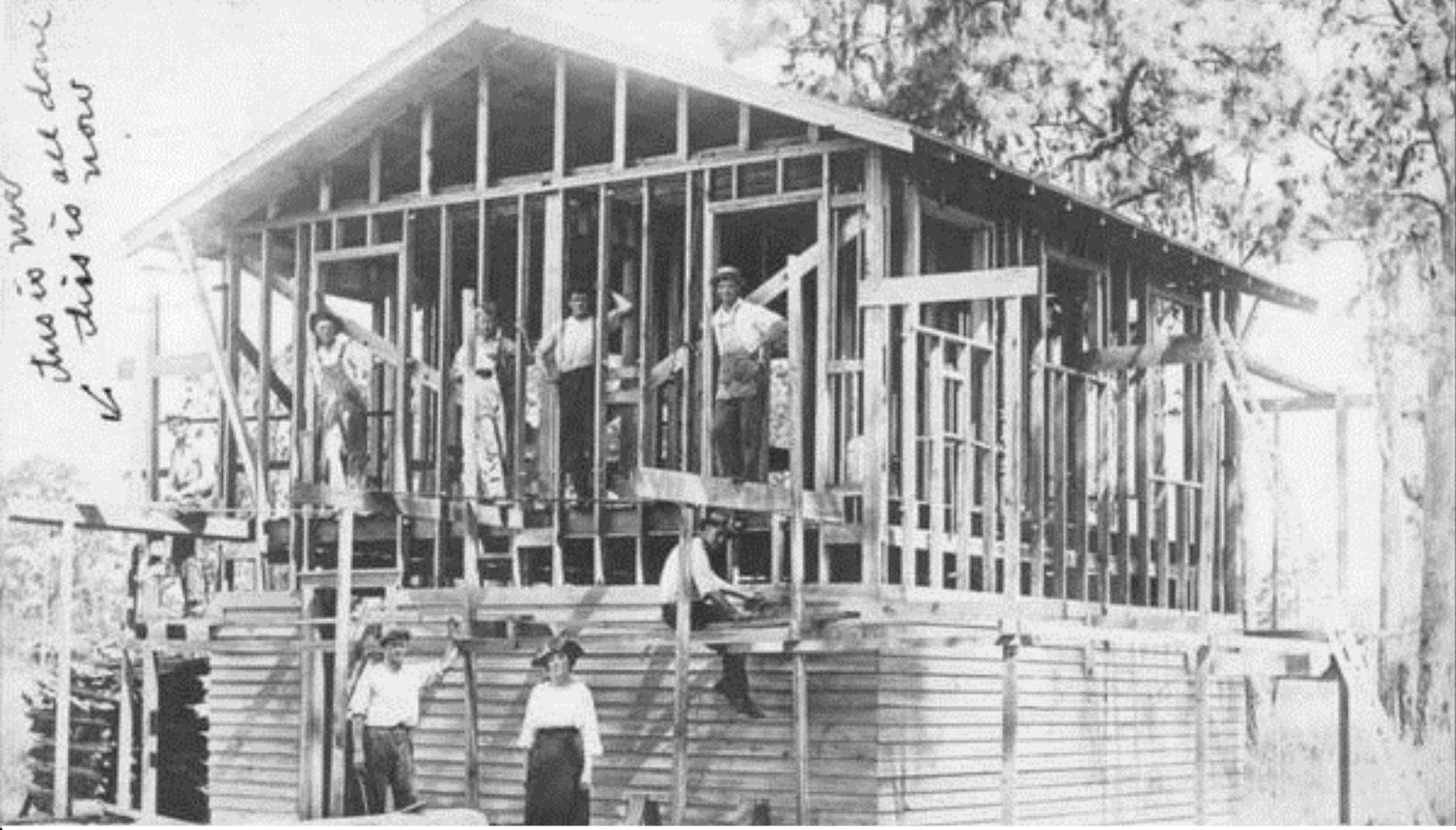
Should you wish to discuss the details of this application, we are pleased to speak with you at your most convenient time.

Also, if you could please let me know the best way to submit the \$300.00 application fee, I would appreciate it. I tried to find a place to do it online but was unsuccessful.

Best regards,

Brett M. Coady,
Senior Partner





CITY OF ST. PETERSBURG, FLORIDA

CERTIFICATE OF APPROPRIATENESS APPLICATION PACKET

stpete.org/history

Urban Planning and Historic Preservation Division
Planning and Development Services Department
City of St. Petersburg
Municipal Services Center
One Fourth Street North, 8th Floor
St. Petersburg, Florida 33701



CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

Property Address	Parcel Identification No.
Historic District / Landmark Name	Corresponding Permit Nos.
Owner's Name	Property Owner's Daytime Phone No.
Owner's Address, City, State, Zip Code	Owner's Email
Authorized Representative (Name & Title), if applicable	Representative's Daytime Phone No.
Representative's Address, City, State, Zip Code	Representative's Email

APPLICATION TYPE (Check applicable)	
<input type="checkbox"/> Addition	<input type="checkbox"/> Window Replacement
<input type="checkbox"/> New Construction	<input type="checkbox"/> Door Replacement
<input type="checkbox"/> Demolition	<input type="checkbox"/> Roof Replacement
<input type="checkbox"/> Relocation	<input type="checkbox"/> Mechanical (e.g. solar)
<input type="checkbox"/> Other:	

TYPE OF WORK (Check applicable)	
<input type="checkbox"/> Repair Only	
<input type="checkbox"/> In-Kind Replacement	
<input type="checkbox"/> New Installation	
<input type="checkbox"/> Other:	

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner: _____ Date: _____

Signature of Representative: _____ Date: _____



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work



CERTIFICATE OF APPROPRIATENESS

GENERAL INFORMATION

Purpose

The Historic and Archaeological Preservation Overlay, City Code Section 16.30.070, requires issuance of a Certificate of Appropriateness (COA) prior to any exterior alteration to a locally designated landmark or property within a locally designated historic district. Exterior alterations include, but are not limited to, the following work: changes to walls, roof, or windows; painting unpainted masonry; additions; relocation, and demolition. Building new structures and demolition requests within a historic district, as well as any digging or replacement of plantings on a designated archaeological site also require a COA. The intent of the COA is to ensure that the integrity and character of the individual landmark or historic district is maintained.

Pre-Application Meeting

Applicants are encouraged to schedule a pre-application meeting with Staff prior to an application being accepted. Staff requests that all pre-application meetings be scheduled at least one (1) week prior to the application deadline. Minor maintenance projects can often be approved at this meeting. Pre-application meetings can be scheduled by calling (727) 892-5470 or (727) 892-5451.

At the meeting, staff will determine if the application is appropriate for administrative approval based upon the COA Approval Matrix as per the regulations in the Historic and Archaeological Preservation Overlay. Administrative approvals do not require a public hearing, unless an appeal is filed with the Urban Planning and Historic Preservation Division. Permits must be obtained within 18 months of approval. Staff shall have the discretion to refer any case to the Community Planning and Preservation Commission (“CPPC”).

Application Submittal

Only complete applications will be accepted. Complete applications must be filed by 2:00 PM on the application deadline date. Per the CPPC’s Rules of Procedure, a maximum of twelve (12) applications may be scheduled for any given public hearing. This limit does not apply to applications which are determined by the Urban Planning and Historic Preservation Division to be appropriate for administrative approval. Applications requiring a public hearing are scheduled in the order received.

Fee Schedule

Commission Review		Staff Review	
Additions	\$ 300.00	General Application	\$ 50.00
Appeal	\$ 250.00	Appeal	\$ 250.00
Alterations and Repair	\$ 300.00		
Demolition (primary building)	\$ 1,000.00		
Demolition (accessory structure)	\$ 500.00		
New Construction	\$ 300.00		
Relocation	\$ 500.00		
<i>After-the-Fact – Twice the initial fee; Revision of previously approved COA - ½ of the original fee</i>			

Site Plans, Floor Plans, and Elevation Drawings

All applications for the CPPC require a detailed, accurate site plan or survey and elevation drawings. Some applications for the CPPC require floor plans as well. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, or elevations that are incomplete, illegible, unclear, or do not meet the criteria listed on the “List of Required Submittals.” Such determinations are made at the discretion of the City.



CERTIFICATE OF APPROPRIATENESS

GENERAL INFORMATION

Community Planning and Preservation Commission Review

By applying to the CPPC, the applicant grants permission for Staff and members of the CPPC to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise Staff in writing at the time of application submittal.

Legal Notification

All applications that require CPPC approval shall provide public notification. The applicant will be required to send via the U.S. Postal Service, notification letters to all property owners within 200 linear feet of the subject property. The City will provide one original notification letter, mailing labels, and instructions. These legal notifications must be mailed by the dates noted on the CPPC schedule with verification of mailing returned to staff within seven (7) days of the meeting date.

Public Hearing

Applications appropriate for public hearing will be heard by the CPPC on the dates listed on the CPPC Schedule. The public hearings begin at 2:00 p.m. in the City Council Chambers at City Hall, located at 175 5th Street North. All proceedings are quasi-judicial.

CPPC Approvals

If approved by the CPPC, the applicant must wait to initiate construction until after the ten (10) day appeal period. Permits and inspections are required, when applicable. Permits must be obtained within 18 months from the date of the CPPC decision, unless otherwise directed by the CPPC. After the expiration date, a one-year extension to complete the work in progress may be approved in the manner originally approved if the owner can show why the work has not been completed.

All conditions of approval must be satisfied and approved through inspection by Historic Preservation staff before the final building inspection is approved. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the CPPC or Historic Preservation Division does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes.

FEMA Regulations

FEMA regulations may affect your ability to proceed with your plans – even if approved by the CPPC. Designated properties may receive variances from local flood hazard requirements when rehabilitating their buildings. Applicants are advised to contact the City's FEMA Coordinator at (727) 893-7283 to determine the impact of FEMA regulations, if any.



Certificate of Appropriateness Approval Matrix

(City Code Section 16.30.0070.2.6, updated February 10, 2015)

	CONTRIBUTING & INDIVIDUAL LANDMARKS			NON-CONTRIBUTING		
	Staff	CPPC	No Review	Staff	CPPC	No Review
ADDITIONS						
All		X			X	
ARCHAEOLOGY						
Ground disturbing activities	Certificate to Dig Required			Certificate to Dig Required		
CANVAS AWNINGS						
Installation, removal, or alterations	X			X		
CLEANING						
1. Pressure washing, less than 100 psi			X			X
2. Other methods and applications	X			X		
CARPORTS and PORTE COCHERES						
All alterations		X		X		
DECKS, PATIOS						
1. With a roof		X		X		
2. Without a roof	X			X		
DEMOLITIONS						
1. Primary structures		X			X	
2. Accessory structures, historic		X		X		
3. Accessory structures, non-historic	X			X		
4. Historic additions		X			X	
5. Non-historic additions	X			X		
DOORS, ENTRIES, AND GARAGE DOORS						
1. Same materials, style, and size	X			X		
2. Change in materials or style		X		X		
3. Change in openings		X		X		
4. Entry features	X			X		
5. ADA requirements	X			X		
6. Other alterations	X			X		
DRIVEWAYS						
1. Change in materials	X			X		
2. Change in size or configuration	X			X		
3. New or relocated driveway	X			X		
EXTERIOR WALL FINISH						
1. Removal of non-historic material	X			X		
2. All other finishes (including painting of an originally unpainted surface)	X			X		
3. Waterproofing	X			X		
FOUNDATIONS						
1. Same material, style, and size	X			X		
2. Change in material, style, or size		X		X		
3. Sidewalk vault lights	X			X		
INTERIOR ALTERATIONS						
Ad Valorem Tax Exemption Apps ONLY	X					X
LANDSCAPE FEATURES						
1. Arbors, pergolas, and gazebos	X			X		
2. Permanent water features	X			X		
3. Lighting	X			X		
4. Sidewalks	X			X		
5. Walkways	X			X		
6. Planting or removal, non-historic vegetation			X			X
7. Alteraton, planting, removal, historic vegetation	X			X		
8. Other	X			X		



Certificate of Appropriateness Approval Matrix

(City Code Section 16.30.0070.2.6, updated February 10, 2015)

	CONTRIBUTING and INDIVIDUAL LANDMARKS			NON-CONTRIBUTING		
	Staff	CPPC	No Review	Staff	CPPC	No Review
MECHANICAL SYSTEMS						
1. Electrical, plumbing, pool equipment	X			X		
2. HVAC	X			X		
3. Solar Panels	X			X		
4. Other	X			X		
NEW CONSTRUCTION						
All		X			X	
PAINTING						
1. Painting previously painted surfaces			X			X
2. Changes in paint color			X			X
PLAQUES AND MARKERS						
All	X			X		
POOLS						
1. Above ground pools		X		X		
2. In ground pools	X			X		
3. Pool screen enclosures	X			X		
PORCHES AND BALCONIES						
1. Open an enclosed porch	X			X		
2. Enclose a porch		X		X		
3. Alterations		X		X		
RELOCATION						
1. Into a Local Landmark district		X			X	
2. Other		X		X		
RESTORATION (A return to the original based on historic evidence as originally designed and constructed.)						
All	X			X		
ROOF and CHIMNEYS						
1. Same materials and shape	X			X		
2. Change in materials		X		X		
3. Change in shape		X		X		
4. Other alterations		X		X		
SIGNS						
All signage	X			X		
Street numbers			X			X
SHEDS						
Less than 100 sq. ft.	X			X		
SHUTTERS						
1. Removable shutters	X			X		
2. Permanent shutters	X			X		
SITE WALLS AND FENCES						
1. Walls or fences behind the front façade	X			X		
2. Walls or fences in front of or equal to front façade		X		X		
3. Retaining walls	X			X		
4. Demolition, historic		X		X		
5. Sea walls	X			X		
WINDOWS						
1. Same materials, style, and size	X			X		
2. Change in materials or style		X		X		
3. Change in openings		X		X		

NOTES:

Any formal appeal of a City staff determination shall be acted upon first by the City's Community Planning and Preservation Commission ("CPPC"). Any formal appeal of a CPPC determination shall be acted upon in accordance with Section 16.70.015 titled, "Decisions and Appeals Table."

The POD may refer a COA application for public hearing review where the request is not substantially similar to another action already listed, or if the request is non-traditional, may set precedent and therefore requires the benefit of public deliberation and a CPPC decision.



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, ALTERATIONS

- Completed COA application**
- Application fee (Confirm w/City Staff, based on type of review)**
- Site plan or survey of the subject property:**
 - To scale, no larger than 11" x 17" paper or digital submission
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions, locations of all property lines, structures, parking spaces
- Floor Plans and Elevations:**
 - To scale, no larger than 11" x 17" paper
 - Depicts all sides of existing & proposed structure(s)
- Photographs of the subject property**
- Written description explaining how the proposed work complies with the following evaluation criteria:**
 1. A local landmark should be used for its historic purpose or be adaptively fit into a new use that requires minimal change to the defining characteristics of the building and its site and environment.
 2. The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.
 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.
 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.
 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
 8. Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.

(continued next page)



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, ALTERATIONS

Typical Alterations and Minimum Requirements for Submittals

Please be advised that UPHP staff may request additional information or a site visit

Type of work	Minimum Required Submittals
Canvas Awnings	<ul style="list-style-type: none"> Plan drawings showing proposed location Image and dimensions of proposed awnings Photographs of extant conditions in location of proposed
Door Replacement	<ul style="list-style-type: none"> Plan drawings showing proposed location Photographs of existing door, general area of proposed location, and resource view from Right of Way Manufacturers brochure or detail of proposed replacement
Driveways	<ul style="list-style-type: none"> Site plan showing proposed location Photograph of existing location Materials and measurements of proposed
Exterior Wall Repair Siding, Stucco, etc.	<ul style="list-style-type: none"> Location description Description of proposed materials Photographs showing condition of existing to be replaced
Fences	<ul style="list-style-type: none"> Survey indicating proposed location Photograph showing area where fence will be constructed Type of fence, material, and any treatment
Mechanical Systems Electrical/plumbing work HVAC, Solar Panels, etc.	<ul style="list-style-type: none"> Location, profile, and dimension of units If rooftop unit: dimensions including height of roof and setback of unit from eaves Photograph of proposed location of work and of resource from public Right of Way
Minor Maintenance	<ul style="list-style-type: none"> Photographs showing existing condition Description of work and estimated square footage of space impacted
Pools	<ul style="list-style-type: none"> Site plan showing proposed location Photograph of proposed location and of resource from public Right of Way Materials to be used Description of any landscaping, fencing, or other screening to be installed
Reroofing	<ul style="list-style-type: none"> Photographs of building and roof condition Description of roof materials to be used
Sheds	<ul style="list-style-type: none"> Survey showing placement Photographs of proposed location and of resource from public Right of Way Drawings indicating measurements and materials
Shutters / Hurricane Panels	<ul style="list-style-type: none"> Photographs of proposed location and resource from public Right of Way Images of shutters and description of material and style
Window Replacement	<ul style="list-style-type: none"> Floorplan indicating location of each replacement Photographs of each elevation to be affected, existing windows, and resource from public Right of Way Dimensioned and scaled profile of proposed windows Dimension and profile of any trim, sills, or other ornamentation impacted Manufacturer's brochure and photographs of proposed location Description and elevation drawings of any proposed changes to opening sizes, location, etc.



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, WINDOW REPLACEMENT

- Completed COA application**
- Application fee - \$50 (same materials) or \$300 (change of materials)**
- Floor Plans and Elevations:**
 - To scale, no larger than 11" x 17" paper or digitally submitted
 - Depicts all sides of existing & proposed structure(s)
 - Indicate location of each window replacement
- Window Schedule specifying existing windows to be replaced: materials, size, type, finish**
- Number Key Photos, Floor Plans, and Elevation to correspond with Window Schedule**
- Dimensioned and scaled profile section of new windows**
- Manufacturers brochure and catalog photo of proposed replacement**
- Written description explaining how the proposed window replacement complies with the following evaluation criteria:**
 1. The replacement window and glass shall be impact resistant.
 2. The replacement window shall be Energy Star qualified for southern climate zones.
 3. The replacement window shall be setback into the wall the same distance as the historic window.
 4. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable.
 5. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;
 6. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:
 - a. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.
 - b. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.
 - c. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.
 7. The finished surface and appearance shall match the historic window, where practicable.



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, NEW CONSTRUCTION

- Completed COA application**
- Application fee - \$300.00**
- Site plan or survey of the subject property:**
 - To scale, no larger than 11" x 17" paper or digitally submitted
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions, locations of all property lines, structures, parking spaces
- Floor Plans and Elevations:**
 - To scale, no larger than 11" x 17" paper or digitally submitted
 - Depicts all sides of existing & proposed structure(s)
- Photographs of the subject property**
- Written description explaining how the proposed work complies with the following evaluation criteria:**
 1. The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.
 2. The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.
 3. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.
 4. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.
 5. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.
 6. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.
 7. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.
 8. The roof shape of the new construction shall be visually compatible with contributing resources in the district.
 9. Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

(continued next page)



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, NEW CONSTRUCTION

8. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.
9. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.
10. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.
11. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, DEMOLITION

- Completed COA application**
- Application fee - \$1000.00 Primary Building / \$500 Accessory Structure**
- Site plan or survey of the subject property:**
 - To scale on 8.5" x 11" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions, locations of all property lines, structures, parking spaces
- Elevation drawings:**
 - On 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - Depicts all sides of existing & proposed structure(s)
- Floor plans:**
 - To scale: on 8.5" x 11", 8.5" x 14", or 11" x 17" paper
 - North arrow
 - Locations of all doorways, windows, and walls (interior & exterior)
 - Dimensions and area of each room
- Photographs of the subject property**
- Written description explaining why there is no feasible alternative to demolition, no reasonable beneficial use of the property or why the applicant cannot receive a reasonable return on a commercial or income-producing property:**

The CPPC may solicit expert testimony and will likely request that the applicant furnish such additional information believed to be necessary and relevant in the determination of whether there is a reasonable beneficial use or a reasonable return:

1. A report from a licensed architect or engineer who shall have demonstrated experience in structural rehabilitation concerning the structural soundness of the building and its suitability for rehabilitation including an estimated cost to rehabilitate the property.
2. A report from a qualified architect, real estate professional, or developer, with demonstrated experience in rehabilitation, or the owner as to the economic feasibility of rehabilitation or reuse of the property. The report should explore various alternative uses for the property and include, but not be limited to, the following information:
 - a. The amount paid for the property, date of purchase, remaining mortgage amount (including other existing liens) and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.

(continued next page)



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, DEMOLITION

- b. The most recent assessed value of the property.
 - c. Photographs of the property and description of its condition.
 - d. Annual debt service or mortgage payment.
 - e. Real estate property taxes for the current year and the previous two years.
 - f. An appraisal of the property conducted within the last two years. The City may hire an appraiser to evaluate any appraisals. All appraisals shall include the professional credentials of the appraiser.
 - g. Estimated market value of the property in its current condition; estimated market value after completion of the proposed demolition; and estimated market value after rehabilitation of the existing local landmark for continued use.
 - h. Evidence of attempts to sell or rent the property, including the price asked within the last two years and any offers received.
 - i. Cost of rehabilitation for various use alternatives. Provide specific examples of the infeasibility of rehabilitation or alternative uses which could earn a reasonable return for the property.
 - j. If the property is income-producing, submit the annual gross income from the property for the previous two years as well as annual cash flow before and after debt service and expenses, itemized operating and maintenance expenses for the previous two years, and depreciation deduction and projected five-year cash flow after rehabilitation.
 - k. If the property is not income-producing, projections of the annual gross income which could be obtained from the property in its current condition.
 - l. Evidence that the building can or cannot be relocated.
 - m. The Commission may request that the applicant provide additional information to be used in making the determinations of reasonable beneficial use and reasonable return.
 - n. If the applicant does not provide the requested information, the applicant shall submit a statement to the Commission detailing the reasons why the requested information was not provided.
3. The Commission may request that the applicant provide additional information to be used in making the determinations of reasonable beneficial use and reasonable return.
 4. If the applicant does not provide the requested information, the applicant shall submit a statement to the Commission detailing the reasons why the requested information was not provided.



2/12/2021

Dear St. Petersburg Community Planning and Preservation Commission:

Please see the following "CERTIFICATE OF APPROPRIATENESS" application for review RE:

335 LANG COURT N., ST. PETERSBURG FL 33701

Below are written responses explaining how the proposed work complies with the following evaluation criteria:

1. The height and scale of the proposed new construction is visually compatible with contributing resources in the district. Lang's Bungalow Court Lot 8 is a transition, terminating lot between Lang's Bungalow Court, and densely built Downtown St. Petersburg with DC-2 Downtown Zoning rights. The max rooftop height of the proposed structure is 33' 8". Similar in use to other single-family homes in this district, the proposed design makes use of an occupied attic space.
2. The relationship of the width of the new construction to the height of the front elevation is visually compatible with other contributing resources in this district. Like most lots in this district, Lot 8 is narrow and elongated. As such, the design of this property maintains a ratio in scale similar to what is existing.
3. The proposed windows of this new construction shall predominantly be in a 2:1 ratio, with a double hung style, which is both visually compatible and typical in this district.
4. Both the massing and openings/voids created by the proposed design are congruent with existing resources. The relationship of solids and voids is compatible.

5. The proposed new construction does an excellent job of utilizing the open space between the existing resources of Lang's Bungalow Court and the high-density buildings in the immediate surrounding area. As can be seen in the attached photograph of subject lot, the backdrop of essentially the West, South, and East elevations is filled with mid to high-rise apartment and office buildings. The proposed structure well compliments the historical features of Lang's Bungalow Court in tandem with the obvious nature of the Central Business District – a predominant and underlying challenge with this particular property.
6. The entrance of proposed structure is setback 50' from westernmost property line, with the inclusion of a 10' front porch in accordance with the existing and long established nature of Lang's Bungalow Court.
7. The materials and texture of the façade include elements that are visually compatible with those predominantly used in the district, including, but not limited to: "Hardie" board smooth lap siding, stucco, metal/wrought iron, and traditional columns used to flank elements of the façade and front porch, as often seen in Farmhouse Vernacular styles.
8. The roof shape incorporates both uses of gable and hip roof structures, which are compatible to resources in the district.
9. The Site Plan of the proposed structure takes into account the necessity to form cohesive walls of enclosure along streets, using design elements that are compatible with the existing use of the district, including a combination of concrete block and metal. Vegetation will be used to shield common unsightly elements of the modern age such as AC Condenser units, External water heat, etc.
10. In relation to open spaces, the massing of the windows, door openings, porches, and balconies are visually compatible with existing resources in the district.

11. The proposed new construction is congruent with the existing layout of Lang's Bungalow Court. The façade faces the central court, with parking in the rear.
12. The proposed new construction will not destroy any existing historic materials. The previous structure that was on LOT 8 was demolished prior to current ownership.
13. The essential form and integrity of Lang's Bungalow Court and its environment would be unimpaired in the event any such newly built structure were to be removed in the future.

Very respectfully submitted,

Brett Marcus Coady
Senior Partner
Coady Development Partners

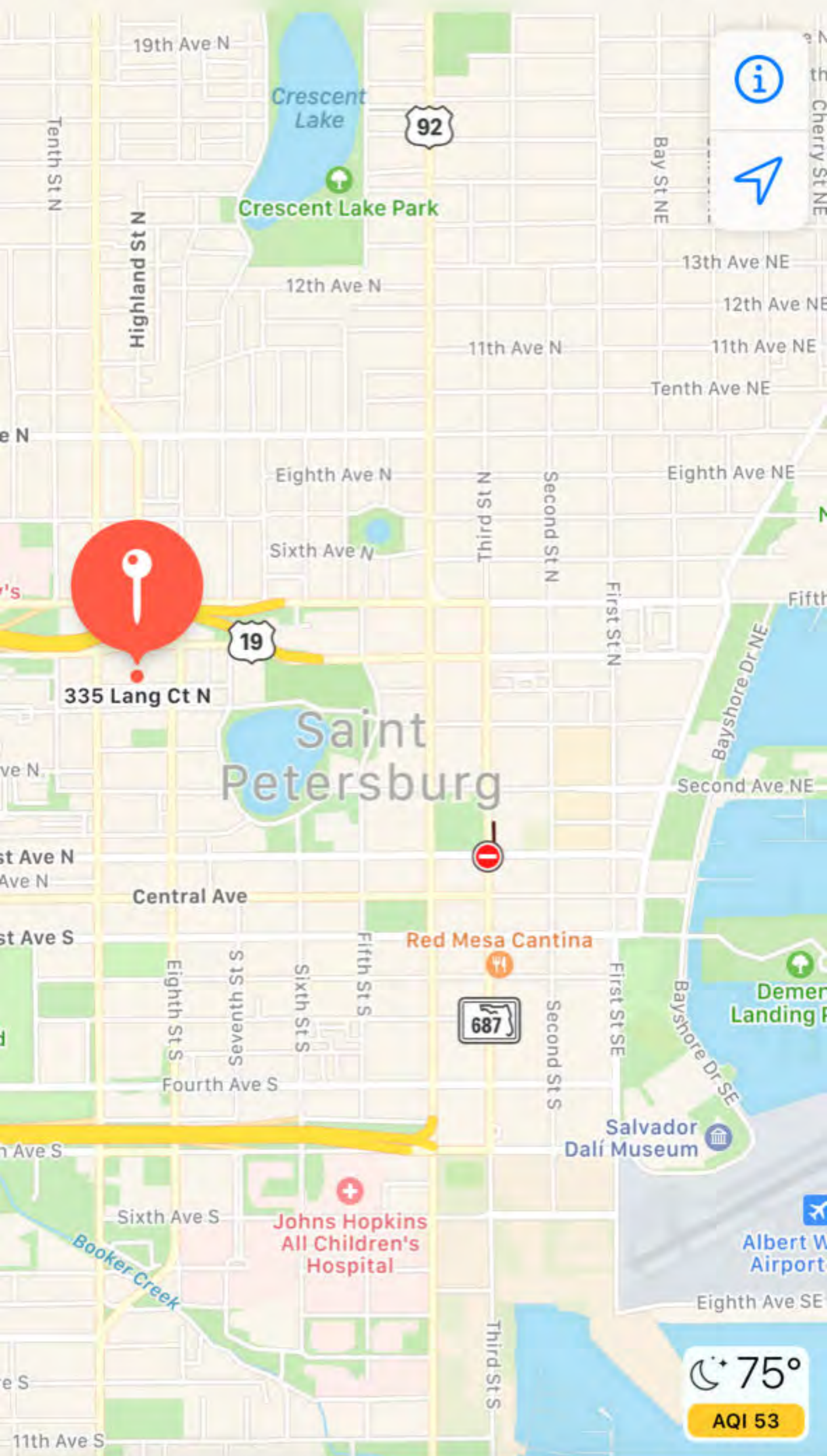




The Standard of Excellence
CHARLES RUTENBERG REALTY

LAURA N. RUSSELL
727-424-3236

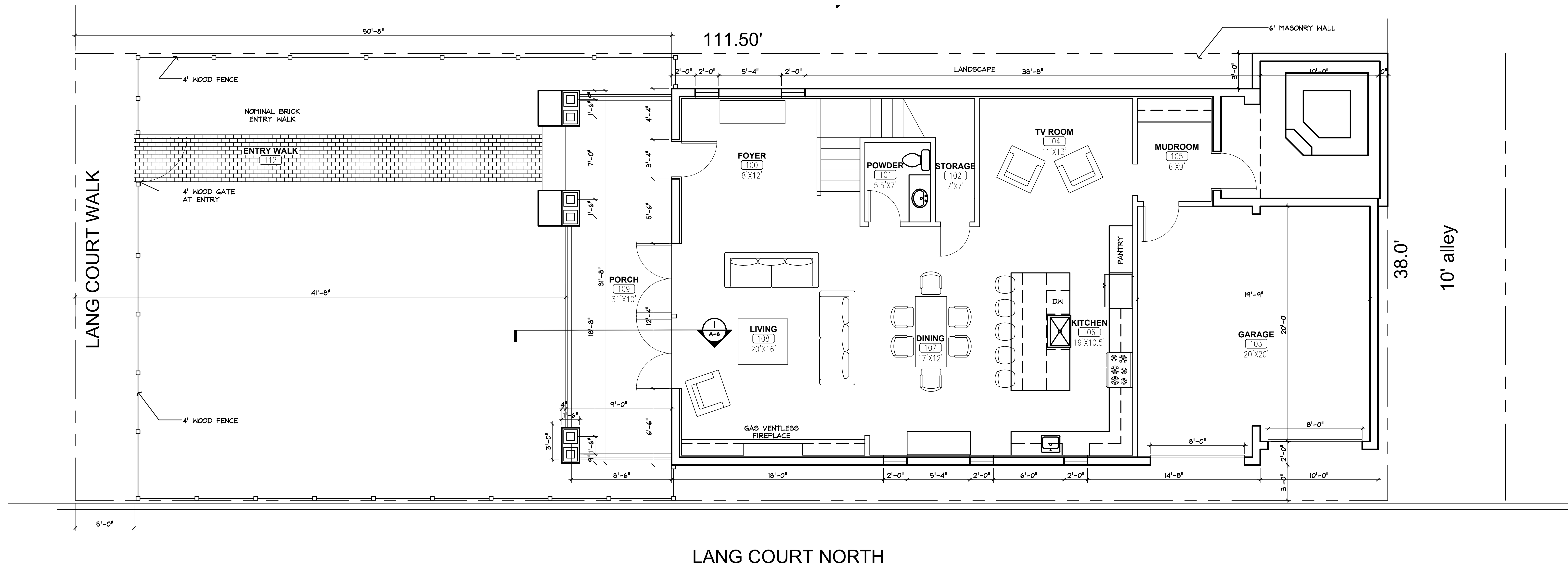




335 Lang Ct N

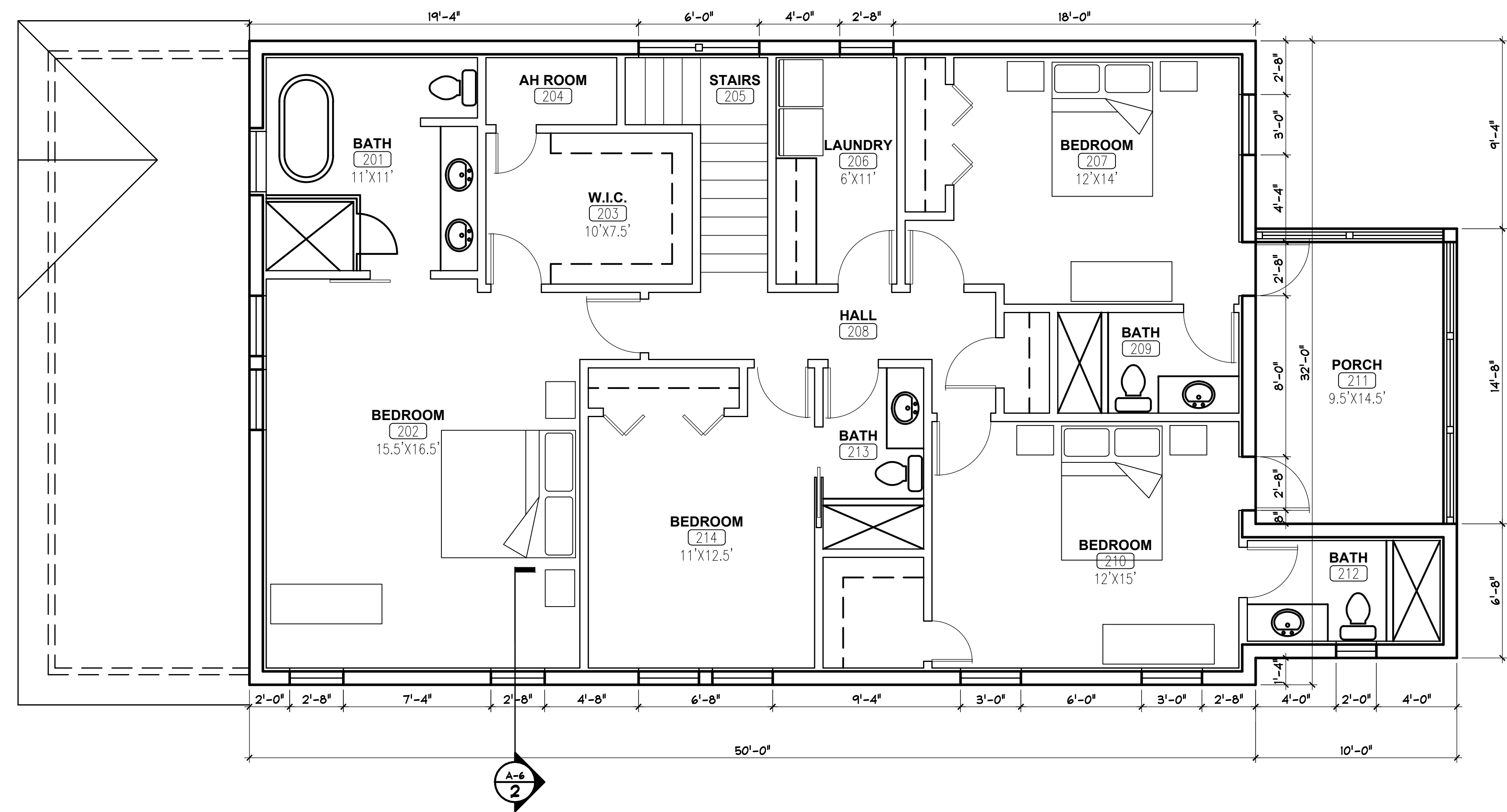
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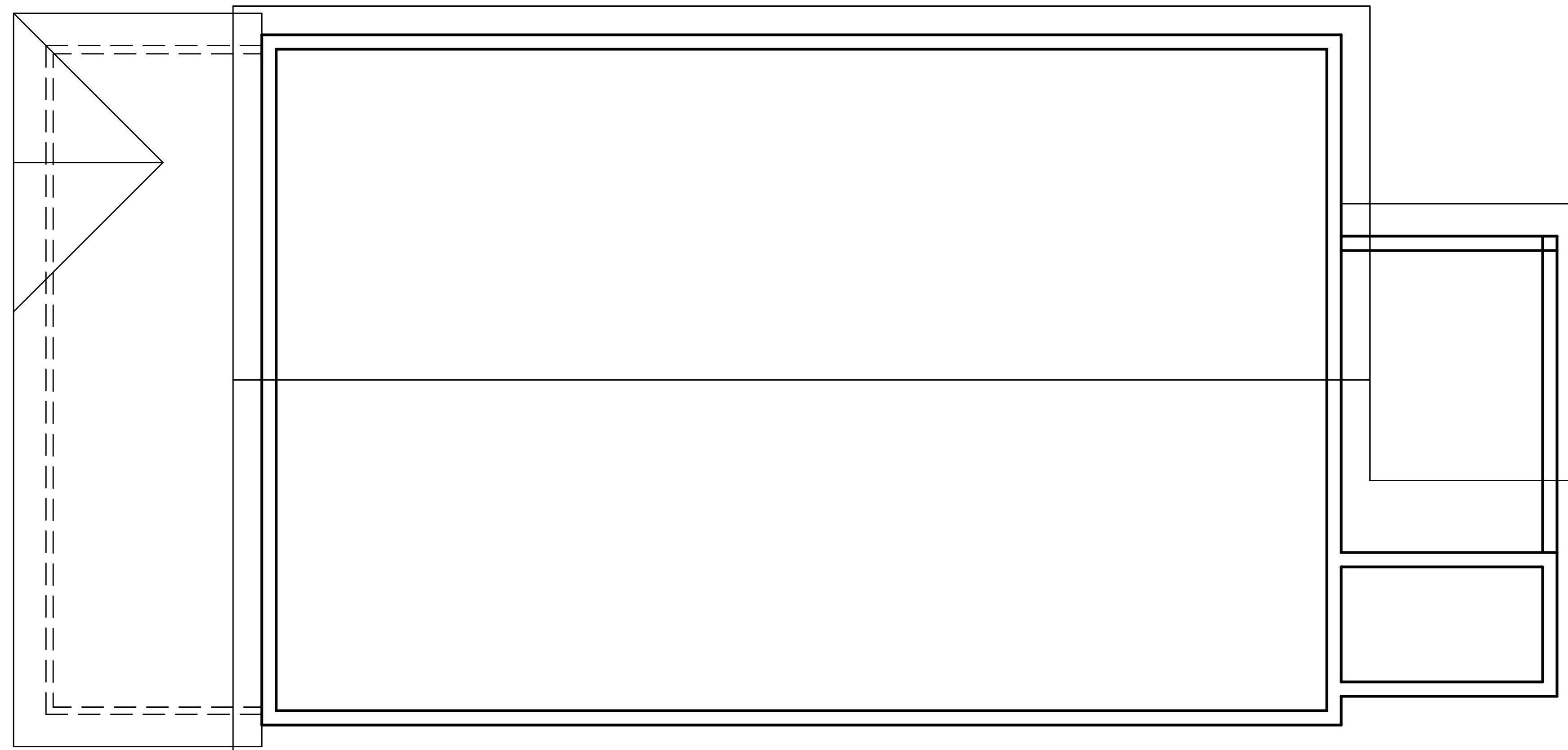


1 SITE / FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BUILDING AREAS:	
LIVING, FIRST FLOOR:	1338 SF
LIVING, SECOND FLOOR:	1668 SF
PORCHES:	456 SF
GARAGE:	445 SF
<hr/>	
TOTAL LIVING	3,066 SF
<hr/>	
TOTAL UNDER ROOF	3,907 SF



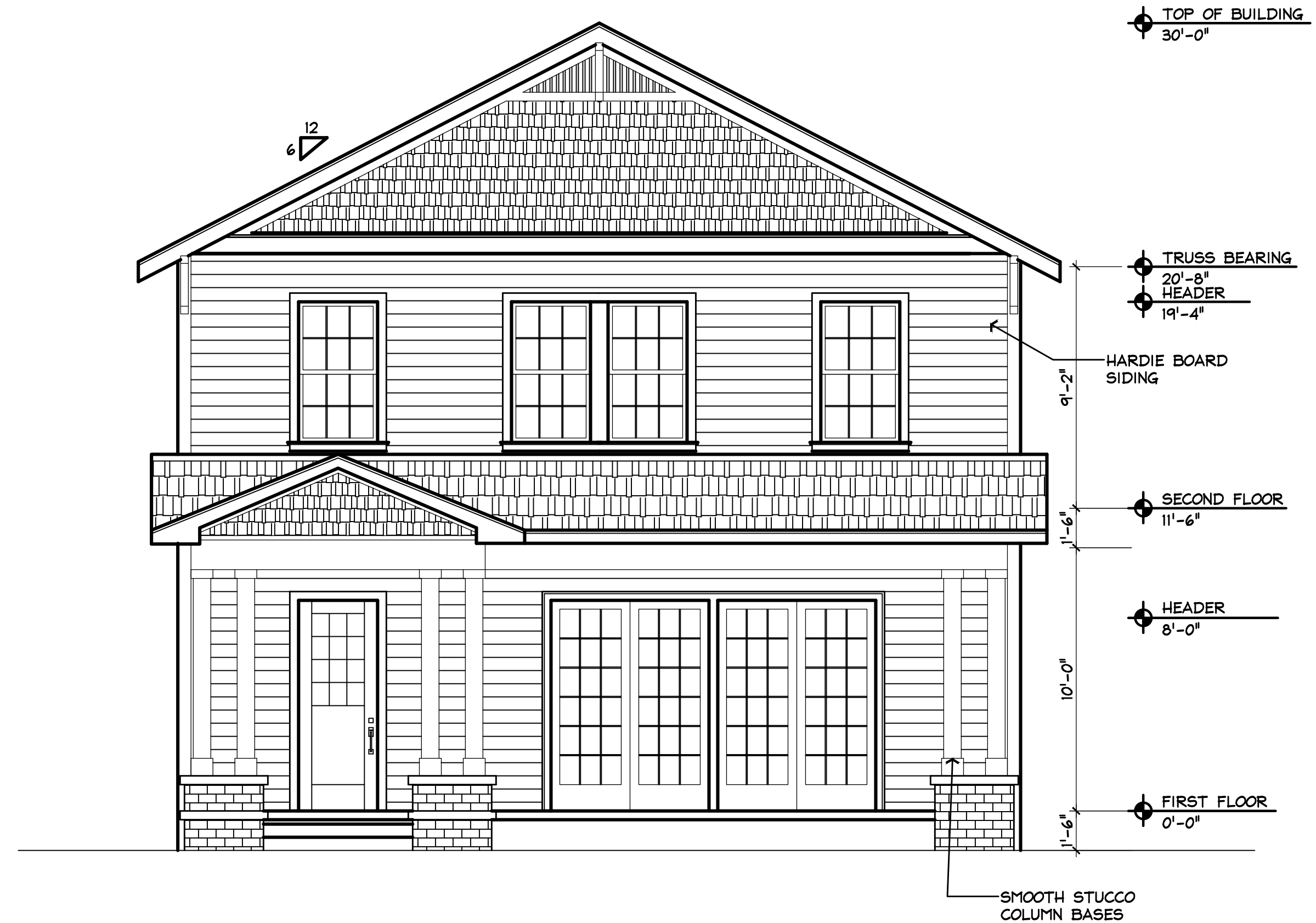
1 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

TOP OF BUILDING
30'-0"

TRUSS BEARING
20'-3"
HEADER
19'-4"

SECOND FLOOR
11'-6"

HEADER
8'-0"

FIRST FLOOR
0'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

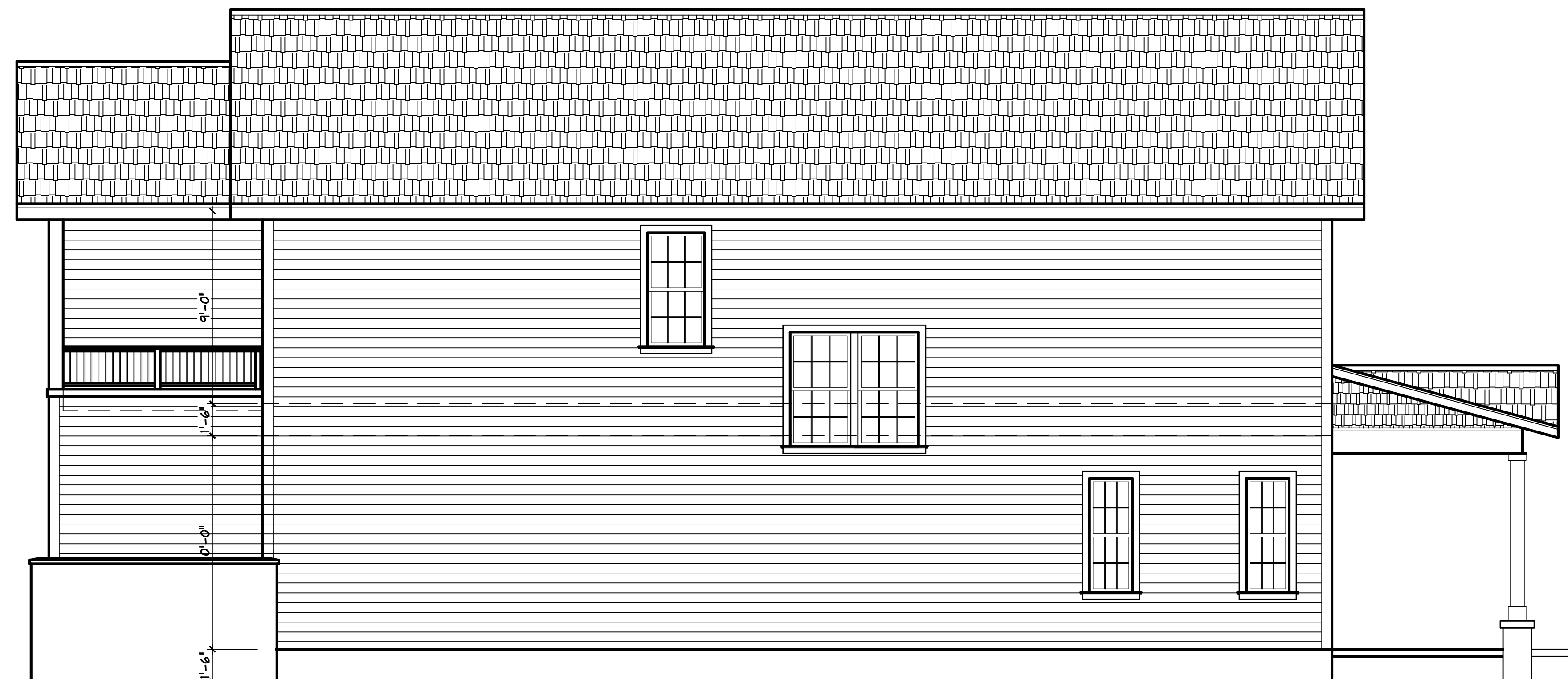
TOP OF BUILDING
30'-0"

TRUSS BEARING
20'-8"
HEADER
19'-4"

SECOND FLOOR
11'-6"

HEADER
8'-0"

FIRST FLOOR
0'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Appendix B:

Variance Application No. 22-51000001



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Included in this packet:

- Application
- Affidavit to Authorize Agent
- Data Sheet
- General Information
- Narrative
- Neighborhood Worksheet
- Public Participation Report

Planning and
Development Services
Department

Development Review
Services

City of St. Petersburg
P.O. Box 2842
St. Petersburg, FL 33731
(727) 893-7471

UPDATED: 12-17-2020

REDEVELOPMENT

Application No. _____

List of Required Submittals

Only complete applications will be accepted:

- Completed Redevelopment Application, Data Sheet, and Narrative**
- Pre-application Meeting Notes** (provided by staff at required pre-application meeting)
- Affidavit to Authorize Agent, if Agent signs application**
- Application fee payment**
- Public Participation Report** (for public hearing cases)
- Eligibility** (Property Card Interpretation [PCI] or valid occupational license for grandfathered units)
- 2 copies of Site Plan or Survey of the subject property:**
 - To scale on 8.5" x 11" paper
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions and exact locations of all property lines, structures, parking spaces, and landscaping
- 2 copies of Floor Plans:**
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - Locations of all doorways, windows, and walls (interior and exterior)
 - Dimensions and area of each room, including closets
 - Dimensions and area of each dwelling unit, excluding storage areas
- Landscape Plans:**
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - North arrow
 - Legend identifying plants by scientific and common name, size, spacing, and quantity
 - Location, type, and size in diameter at breast height (d.b.h.) of all specimen trees indicated to be preserved or removed
- 2 copies of Elevation Drawings:**
 - 8.5" x 11", 8.5" x 14", or 11" x 17" paper; including one 8.5" x 11"
 - Depicts all sides of existing and proposed structure(s)
- PDF of application documents and drawings** (may be emailed to Staff Planner)

The following items are optional, but strongly suggested:

- Neighborhood Worksheet**
- Photographs of the subject property and structure(s)**

A Pre-Application Meeting is required prior to submittal.

To schedule, please call (727) 892-5498.

Completeness Review by City Staff: _____



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REDEVELOPMENT

Application No. _____

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

GENERAL INFORMATION	
NAME of PROPERTY OWNER: Coady Development Partners, LLC	
Street Address: 124 S Morgan Street	
City, State, Zip: Tampa FL 33602	
Telephone No: 917-400-5699	Email Address: bmc@coadydevelopment.com
NAME of AGENT or REPRESENTATIVE: Ralph Schuler, JVB Architect, LLC	
Street Address: 2401 N Howard Avenue	
City, State, Zip: Tampa FL 33607	
Telephone No: 813-258-3233	Email Address: Ralph@jvbarchitect.com
PROPERTY INFORMATION:	
Street Address or General Location: 335 Lang Court	
Parcel ID#(s): 19-31-17-49932-000-0800	
DESCRIPTION OF REQUEST: construct single family house	
PRE-APPLICATION DATE:	PLANNER:

FEE SCHEDULE

Redevelopment Plan Review \$500.00
 Variance - First Variance \$350.00
 Each additional Variance \$100.00
Cash, credit, and checks made payable to the "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested redevelopment. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*: _____ Date: _____

Printed Name: Brett Coady

*Affidavit to Authorize Agent required, if signed by Agent.



REDEVELOPMENT

AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: Coady Development Partners, LLC

This property constitutes the property for which the following request is made

Property Address: 335 Lang Court

Property ID No.: 19-31-17-49932-000-0800

Request: construct single family house

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): Ralph Schaler / JVB Architect

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I (we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): [Signature] B. Coady
Printed Name

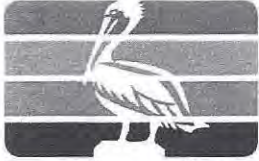
Sworn to and subscribed on this date

Identification or personally known: FLORIDA D.C.I.

Notary Signature: [Signature] Date: 1/10/02

Commission Expiration (Stamp or date):





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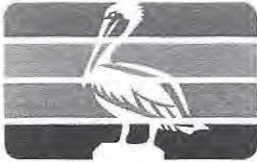
REDEVELOPMENT

DATA SHEET

ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED.
FAILURE TO COMPLETE THIS FORM WILL RESULT IN DEFERRAL OF YOUR APPLICATION.

DATA TABLE

1.	Zoning Classification: CD-2			
2.	Existing Land Use Type(s): vacant			
3.	Proposed Land Use Type(s): single family residence			
4.	Area of Subject Property: 4237 sf			
5.	Variance(s) Requested: none			
6.	Gross Floor Area (total square feet of building(s))			
	Existing:	0	Sq. ft.	
	Proposed:	3907	Sq. ft.	
	Permitted:		Sq. ft.	
7.	Floor Area Ratio (total square feet of building(s) divided by the total square feet of entire site)			
	Existing:	0	Sq. ft.	
	Proposed:	.92	Sq. ft.	
	Permitted:		Sq. ft.	
8.	Building Coverage (first floor square footage of building(s))			
	Existing:	0	Sq. ft.	0 % of site
	Proposed:	2239	Sq. ft.	53 % of site
	Permitted:		Sq. ft.	% of site
9.	Open Green Space (include all green space on site; do not include any paved areas)			
	Existing:	4237	Sq. ft.	100 % of site
	Proposed:	1626	Sq. ft.	39 % of site
10.	Interior Green Space of Vehicle Use Area (include all green space within the parking lot and drive lanes)			
	Existing:	0	Sq. ft.	% of vehicular area
	Proposed:	139	Sq. ft.	% of vehicular area



REDEVELOPMENT

DATA SHEET

DATA TABLE (continued page 2)						
11.	Paving Coverage (including sidewalks within boundary of the subject property; do not include building footprint(s))					
	Existing:	0	Sq. ft.		% of site	
	Proposed:	372	Sq. ft.	8	% of site	
12.	Impervious Surface Coverage (total square feet of all paving, building footprints and other hard surfaced areas)					
	Existing:	0	Sq. ft.		% of site	
	Proposed:	611	Sq. ft.	61	% of site	
	Permitted:		Sq. ft.		% of site	
13.	Density (units per acre)					
	<u>Sq. Ft. or Acre(s)</u>		<u>No. of Employees</u>		<u>No. of Clients (C.R. / Home)</u>	
	Existing:	0	Existing:	0	Existing:	0
	Proposed:	1 unit	Proposed:	0	Proposed:	0
	Permitted:					
14 a.	Parking (Vehicle) Spaces					
	Existing:	0	includes	0	disabled parking spaces	
	Proposed:	2	includes	0	disabled parking spaces	
	Required:	2	includes	0	disabled parking spaces	
14 b.	Parking (Bicycle) Spaces					
	Existing:	-	Spaces	-	% of vehicular parking	
	Proposed:	-	Spaces	-	% of vehicular parking	
	Required:	-	Spaces	-	% of vehicular parking	
15.	Building Height					
	Existing:	0	Feet	-	Stories	
	Proposed:	30	Feet	2	Stories	
	Permitted:		Feet		Stories	
16.	Construction Value					
	What is the estimate of the total value of the project upon completion? \$ 850,000.00					
	<i>Note: See Drainage Ordinance for a definition of "alteration." If applicable, please be aware that this triggers Drainage Ordinance compliance. Please submit drainage calculations to the Engineering Department for review at your earliest convenience. The DRC must approve all Drainage Ordinance variances.</i>					



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REDEVELOPMENT

GENERAL INFORMATION (PAGE 1)

Pre-application Meeting

All applicants are required to schedule a pre-application meeting. Meetings may be held by phone or via email. If an application is submitted without a pre-application meeting, and the application is deemed to be incomplete or incorrect, the application may be delayed. Please call to schedule: 727-893-7471.

Process

If the request is for redevelopment of one (1) accessory residential unit without Variances, the application may be reviewed and approved administratively by staff with or without conditions. If the request is for redevelopment of more than one (1) accessory residential unit, or the request includes Variances, then Commission review shall be required.

Public Participation Report (for public hearing cases)

For cases requiring public hearing applicants are required to contact the applicable Neighborhood Association President and complete the Public Participation Report prior to submittal of an application. Public hearing applications without the Public Participation Report will not be accepted. The contact information will be provided to the applicant by staff at the pre-application meeting.

Application Submittal

Only complete applications will be accepted. Complete applications must be filed by 2:00 p.m. on the application deadline date.

Site Plan, Floor Plans, and Elevation Drawings

All applications require a detailed, accurate site plan or survey, floor plans, and elevation drawings. If the redevelopment application requests modification to existing landscaping or installation of new landscaping then landscaping plans shall be required. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, elevation drawings, or landscape plans that are incomplete, illegible, unclear, or do not meet the criteria listed on the "List of Required Submittals." Such determinations are made at the discretion of the City.

Commission Review

By applying to the Commission, the applicant grants permission for staff and members of the Commission to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise staff in writing at the time of application submittal. Any Code violations found by the City Staff or the Commission members during review of the subject case will be referred to the Codes Compliance Assistance Department.

Variances

If Variances are requested as part of the redevelopment, the Variance application, narrative, and fee must be included at the time of application.



REDEVELOPMENT

GENERAL INFORMATION (PAGE 2)

Legal Notification

All applications requiring Commission review are required by Florida Statute and City Code to provide public notification of requested variances, reinstatements of grandfathered uses, and redevelopment plans. The applicant will be required to post a sign on the subject property and send via the U.S. Postal Service by "Certificate of Mailing" notification letters to all property owners within 200 feet of the subject property. The City will provide one (1) original notification letter, a list of properties, mailing labels, sign, and procedures to complete the posting of the sign and the notification of property owners. These legal notifications must be completed by the dates noted on the Commission schedule with verification of mailing returned to staff within seven (7) days of the meeting date.

Public Hearing

Applications which require public hearing will be heard by the Commission on the dates listed on the Commission schedule. The public hearings begin at 2:00 P.M. in the City Council Chambers at City Hall, located at 175 5th Street North. All proceedings are quasi-judicial. Therefore, it is required that the property owner or authorized representative attend the hearing.

Approvals

Permits, inspections, business taxes, and certificates of occupancy may be required. All conditions of approval must be completed and approved by the date specified in the report. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the Commission or POD (person officially designated) does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes. Applicants are advised to contact the Construction Services and Permitting Division at (727) 893-7231 to determine if any other regulations may affect a given proposal.

Standards for Approval per Section 16.70.040.1.15

- E. Standards for Review. In addition to the standards of review for a zoning and planning decision generally, a decision rendered under this section shall be guided by the following factors:
1. *Criteria.* Redevelopment plans shall be reviewed for compliance with the criteria set forth in the following chart:

REDEVELOPMENT PLAN

Criterion	Project less than a city block	Project equal to or greater than a city block
<p>Building Type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.)</p> <p>-----</p> <p>Building Scale (e.g. one-story or two-story principal structures)</p> <p>-----</p> <p>Building Setbacks (including both perimeter and interior setbacks)</p>	Structures shall be required to match the predominant building type, setbacks and scale in the block face across the street or abutting residential uses.	Structures on the perimeter of the project shall be required to match the predominant building type, setbacks, and scale in the block face across the street or abutting residential uses. Structures on the interior of the project shall comply with the requirements of the zoning district.
<p>Site Development and Orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions)</p>	Structures shall be required to match the predominant pattern in the block face across the street or abutting residential uses. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.	Structures on the perimeter of the project shall be required to match the predominant development pattern in the block face across the street or abutting residential uses. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use. Structures on the interior of the project shall comply with requirements of the zoning district.
Additional criterion for all projects		
Building Mass	Building mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be the existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater or the FAR plus bonuses allowed in the zoning district. Bonuses to this FAR are listed below. FAR shall include all enclosed space, including garage and storage space, except that open porches (not screened) and the first 300 square feet of garage space shall be excluded from the existing FAR for each unit.	
Building Height	Residential structures for: (1) a project less than a platted block, or (2) on the perimeter of a project equal to or greater than a platted block shall comply with the building height and roof design requirements of the zoning district.	
<p>Development Across Multiple Lots (for redevelopment containing more than two lots and having structures constructed across platted lot lines, the original lot lines shall be respected through building articulation)</p>	<ol style="list-style-type: none"> 1. Structures should be separated by zoning district setbacks; however, if the structures are not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line, equal to or greater than the combined side yard setbacks that would be required for each lot; 2. Both the width and depth of the break shall be equal to or greater than the dimension of the combined side yard setbacks. 	

Additional criterion for all projects	
Single Corner Lots	Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.
Traditional Grid Roadway network	For projects equal to or greater than a platted block, extensions of the traditional grid roadway network which: (1) abut the perimeter of the project area; or (2) would logically be extended through the project are required. Compliance with applicable subdivision and public improvement regulations is required.
Non-Traditional Roadway Network	For projects equal to or greater than a platted block, roadway and pedestrian networks shall meet the following requirements: <ol style="list-style-type: none"> 1. There shall be at least two points of entry into the project; 2. Sidewalk connections shall be made to surrounding streets; 3. Streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or anticipated to be redeveloped in the future.
Density and Intensity	<p>Redevelopment projects shall not exceed the legally grandfathered number of units or intensity of use (e.g. if the use is office, it cannot change to a more intensive grandfathered use such as retail).</p> <p>For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal home unit spaces (lots) within the park prior to redevelopment, or 140 percent of the maximum density of the future land use designation assigned to the property, whichever is less. No variance from this requirement shall be approved.</p>

2. *Perimeter.* Perimeter requirements shall not apply on portions of the property that abut or across the street from a nonresidential use or a water body greater than 150 feet wide.
3. *Floor Area Ratio Bonus.* FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonus and shall be developed following the Development across Multiple Lots criteria indicated in the chart above.
 - a. An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's Neighborhood Design Review Manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.
 - b. An FAR Bonus of 0.05 shall be granted when structures are finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood, "Hardi-Plank" or the equivalent, rough textured , or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock-down stucco shall not qualify for this bonus.



REDEVELOPMENT

NARRATIVE (PAGE 1)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. A separate letter addressing each of the criteria may be provided as a supplement to this form.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 335 Lang Court	Case No.:
Detailed Description of Project and Request: construct 2 story single family residence within the Lang Court Historic District	
<p>1. Building Type. Describe how the proposed building type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.) will match the predominate building type in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building type for perimeter structures will match the predominate building type in the block face across the street.</p>	
Single family residence proposed to fit within the Lang Court block	
<p>2. Building Setbacks. Describe how the proposed building setbacks (including both perimeter and interior setbacks) will match the predominate building setbacks in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building setbacks for perimeter structures will match the predominate building setbacks in the block face across the street.</p>	
The proposed setbacks are: side (North and South) 3'-0", Front: (west) 41'-0" to porch and 50' to face of building, and rear (East) 0'-0"	
<p>3. Building Type. Describe how the proposed building scale (one-story or two-story principle structures) will match the predominate building scale in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building scale for perimeter structures will match the predominate building scale in the block face across the street.</p>	
Residence to fit within the historic pattern established on Lang Court block with houses having large front yards with pedestrian walk and all vehicular use on the alleys on east and west part of the block.	



REDEVELOPMENT

NARRATIVE (PAGE 2)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
4.	<p>Site Development and Orientation. Describe how the proposed site development and orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions) will match the predominate development pattern in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed development pattern for perimeter structures will match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.</p>
	<p>The Lang Court block has established development pattern that we are adhering to as part of the historic district requirements with large front yards with structures pushed to the rear of the property</p>
5.	<p>Floor area Ratio Bonuses. FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonuses. If bonuses are required, please complete the following questions:</p>
a.	<p>FAR Bonus of 0.10 – An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City’s Neighborhood Design Review Manual or the Land Development Regulations. Describe the principle architectural style of the proposed building and explain how it uses the correct proportions, fenestration patterns, details, and materials of the recognized style.</p>
	<p>The architectural style is "craftsman bungalow" that is similar to most structures within Lang Court</p>
b.	<p>FAR Bonus of 0.05 – Describe whether the proposed building is finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood “Hardi-Plank” or the equivalent, rough textured or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.</p>
	<p>The project will be compatible to the historic district and other structures within the Lang Court block.</p>

Appendix C:

Initial Proposal for New Construction and Staff Response Memo

335 Lang Ct. N. – New Construction COA Request

Initial Comments on October 18 Revised Plans

Introduction

A Certificate of Appropriateness (COA) application for new construction at 335 Lang Ct N, a vacant parcel within the boundaries of the Lang's Bungalow Court Local Historic District was submitted by Ralph Schuler of JVB Architects on behalf of owner Coady Development Partners, LLC. The COA application is scheduled for review and action by the Community Planning and Preservation Commission (CPPC) on January 11, 2022. Staff is offering the following initial comments on the proposed single-family residence to inform the applicant ahead of the scheduled Commission meeting. The City Code's *General criteria for granting a COA* and *Additional guidelines for new construction* provide guidance for the review of the construction of new buildings and additions within the boundaries of local historic landmarks and districts. Overall, these criteria were designed to evaluate compatibility with contributing resources within the local landmark. Based on the proposal's inconsistency with *City Code Section 16.30.070.2.6 – Approval of changes to local landmarks*, staff will recommend that the CPPC deny the proposed new construction at 335 Lang Ct N.

Site Orientation

The subject district historically developed with residences featuring ample front setbacks and open front porches engaging a shared pedestrian walkway (the Lang Ct. sidewalk). Bungalow courts, of which Lang's is St. Petersburg's only historically designated example, were largely defined by a uniform presence to their pedestrian spines among buildings. As such, the setback, front entry, and presentation to the sidewalk of any proposal are considered to be among its most impactful features.

Staff took measurements of contributing properties' setbacks from the edge of the Lang Ct. sidewalk. Contributing properties were found to have setbacks averaging 43.49 feet to their front porches and 50.42 feet to edge of building.

This proposal's first iteration (submitted earlier in 2021) featured a consistent building setback with existing resources, but additionally sought a large pool deck surrounded by a 6-foot masonry wall in the space between the Lang Ct. sidewalk and the building's façade. This would essentially disconnect the building from the shared pedestrian corridor, causing staff to express concern with this aspect of the initial proposal.

The October 18 Revision features a pool and pool deck relocated to the rear (east) side of the property and a building shifted closer to the Lang Ct. sidewalk. The proposal now features a setback from the edge of sidewalk that would be roughly 16.75 feet to the beginning of the front porch and 26.5 to the edge of the building. The result would be a building sited over 23 feet closer to the traditional average sidewalk setback and over 1,900 square feet of enclosed living space within this historic front yard. This living space is proposed in addition to the gallery-style 2-story front porch, which would contain 440 square feet of patio space. These figures do not include the front entrance walk or stoop.

Staff is sensitive to the design challenges created by the subject district's large front setback. However, the proposed residence's 4,338 square enclosed square feet, with the 1,900 square feet of living space

placed within the traditional setback being larger than the entirety of many of the district's contributing resources, would overshadow its historic neighbors and negatively impact the subject district.

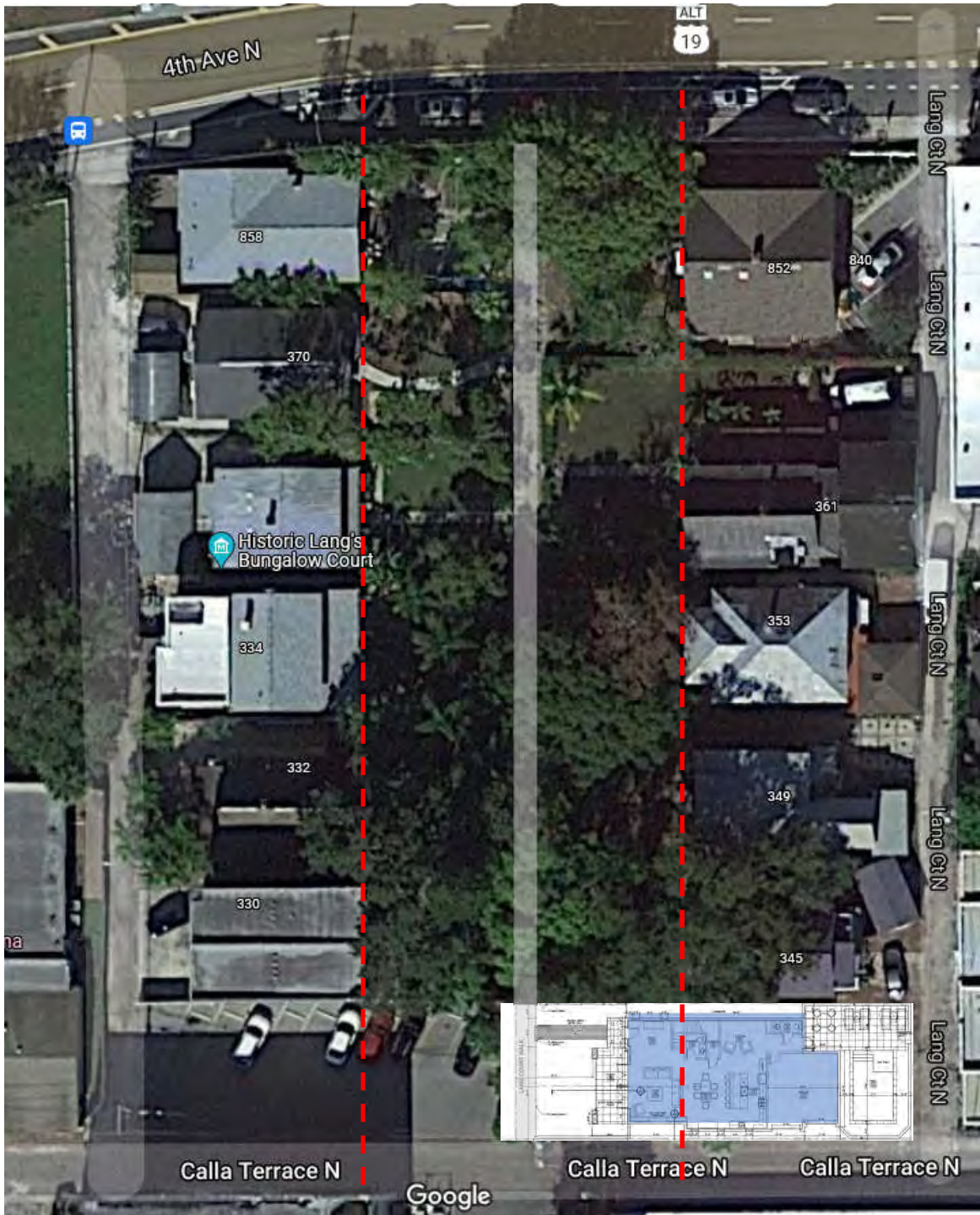


Figure 1: General line of average setbacks (dashed red) with proposed site plan and enclosed footprint (in blue)

While the Historic and Archaeological Preservation Overlay suggests that proposals for new construction should be reviewed for compatibility with *existing* contributing resources, the parcel affected by the

current application benefits from a degree of documentation of the formerly contributing building that historically occupied the parcel in question and was recently demolished.

The predecessor building was a duplex constructed in 1924 and containing a reported 2,581 square feet of living space in addition to a detached 252 square foot garage. The building was generally aligned with its neighbors and located at the eastern side of its parcel. Ornamentation is discussed later in this memorandum, though the footprints of the historic and proposed building are shown below.

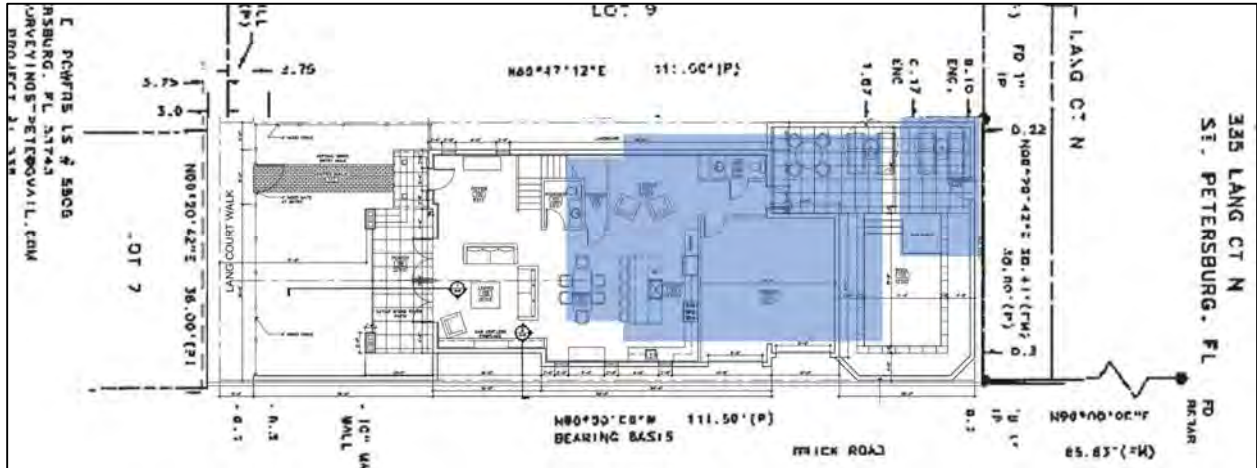


Figure 2: Footprint of historic building (in blue) and proposed footprint

Building Mass and Scale

The proposed residence features twice the average Floor Area Ratio (FAR) of the average existing contributing property in the subject district and 4 times the average square footage above the first floor. Although the visual impact of slightly larger infill in historic districts can be mitigated by design choices that decrease perceived volume, staff does not find that this is true in this case. The sheer size of the proposed residence would create a building that overshadows the remaining resources in the district, thus detracting from their significance and decreasing the integrity of the subject district.

Note: this data was obtained from Pinellas County Property Appraiser's Office. Enclosed spaces include those coded USF (upper story), BAS (base), UTU (utility, unfinished), BSF (base, semi-finished), EPF (enclosed porch), DGU (detached garage, unfinished), USH (upper story, high), UTF (utility), GRU (garage, unfinished), DGF (detached garage, finished), and EPU (enclosed porch, finished). Areas coded OPF (open porch) and SPF (screened porch) are considered to be open porch space and were not included in enclosed square footage totals.

Table 1: Floor Area Ratio (FAR) of existing contributing residences in subject district and proposed building

Address	Floor Area Ratio
335 Lang Ct N (Proposed)	1.02
334 Lang Ct N	0.63
353 Lang Ct N	0.56*

361 Lang Ct N	0.48*
336 Lang Ct N	0.42*
Contributing Property Average	0.41
349 Lang Ct N	0.41
852 4th Ave N	0.37
332 Lang Ct N	0.35
345 Lang Ct N	0.29
858 4th Ave N	0.27
370 Lang Ct N	0.27*

**FAR includes square footage of a detached garage or accessory building on these parcels because it is enclosed square footage.*

Table 2: Enclosed square footage at upper stories in subject district and proposed residence

Address	Enclosed SF at Upper Stories
335 Lang Ct N (Proposed, 2.5 stories)	2552
334 Lang Ct N (1.5 stories)	1281
361 Lang Ct N (2 stories)	997
353 Lang Ct N (2 stories)	960
332 Lang Ct N (2 stories)	792
Contributing Property Average	638
336 Lang Ct N (1.5 stories)	612
345 Lang Ct N (2 stories)	600
349 Lang Ct N (1.5 stories)	597
852 4th Ave N (1.5 stories)	541
858 4th Ave N (1 story)	0
370 Lang Ct N (1 story)	0

Table 3: Percentage of enclosed square footage located at upper stories in subject district and proposed residence

Address	Percentage of Enclosed SF on 2nd Story or Above
335 Lang Ct N (Proposed)	58.83%
332 Lang Ct N	49.84%
345 Lang Ct N	45.66%
361 Lang Ct N	45.32%
334 Lang Ct N	45.23%
353 Lang Ct N	43.48%
336 Lang Ct N	38.56%
Contributing Property Average	32.83%
349 Lang Ct N	32.46%
852 4th Ave N	27.79%
858 4th Ave N	0.00%
370 Lang Ct N	0.00%

Roof Shape and Massing

The proposal suggests a 2.5 story building with a contemporary farmhouse style comprised of a front-gabled roof with numerous side-gabled dormers along its side elevations. Its predominant architectural features are an articulated entry bay clad in brick veneer, a two-story gallery-style porch, and the aforementioned dormers. Staff does not find there to be precedent for the proposed building form in the subject district, particularly because of the overall vertical orientation created by its design.

The subject district offers several examples of contributing resources whose designs minimize their visual size. The accumulated effect of resources that appear fairly small in scale is an increase in the impact of the properties' front yards and a feeling that the subject district is set amidst an ample amount of greenspace, despite the fact that it is surrounded by the larger-scale developments of St. Petersburg's downtown. Examples of several recurring typologies found in the subject district are found below.

Contributing Examples: Front-Gabled Form (1.5 to 2 Stories)



Figure 3: 332 Lang Ct N, 2 story front-gabled form



Figure 4: 852 4th Ave N, 1.5 story front gable

- Horizontal massing or emphasis
- Rhythm of bays
- Symmetry
- Single predominant cladding material with secondary accent
- General consistency of window configuration and proportion
- Functionality of ornamentation

Contributing Examples: Side-Gabled Form (1.5 Stories)



Figure 5: 336 Lang Ct N, 1.5 story side gable



Figure 6: 349 Lang Ct N, 1.5 story side gable

- Horizontal massing
- Symmetry
- Space for partial second story is accomplished with horizontally-oriented dormer, whose low profile minimizes visual impact of height

Contributing Examples: Full Two-Story Form



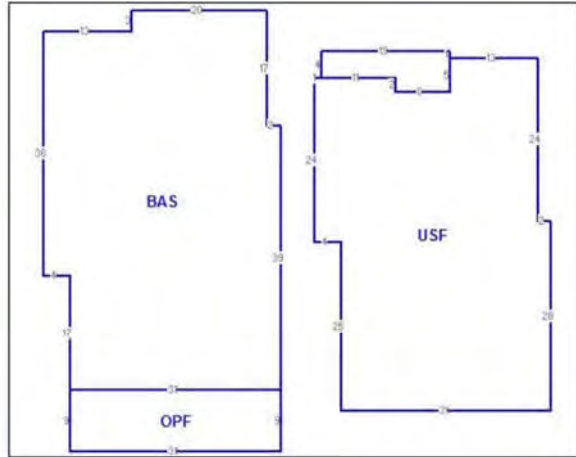
Figure 7: 345 Lang Ct N, 2 story front gable. Visual mass is mitigated by smaller front porch



Figure 8: 335 Lang Ct. N. (demolished duplex formerly at subject property). Symmetry and small, regular bays reduced the impact of its volume.

- Visual height mitigated by horizontal details and forms
- Massing heavier at ground floor, providing grounding appearance
- Heavily symmetrical
- Low- to moderately-pitched roof

Additional Example from the Historic Era: Side-Gabled with Cross-Gabled Dormer



265 8th Ave. N.

Description	Living Area SF	Gross Area SF
Upper Story (USF)	1,596	1,596
Open Porch (OPF)	0	371
Base (BAS)	1,819	1,819
	Total Living SF: 3,415	Total Gross SF: 3,786

Figure 9: Although outside of the subject district, this nearby residence lessens the impact of its almost 3800 sf area with a simple side gable and front dormer.

Windows, Doors, and Fenestration

Proposed window openings feature a lack of consistency, rhythm, and configuration typical to the district.

- Bays are out of alignment at side and rear elevations.
- The property features a lack of rhythm, especially at the street side elevation.
- The proportions of window openings are inconsistent.
- French doors at the façade are out of context. This feature is not historically found in the subject district or locally within St. Petersburg.

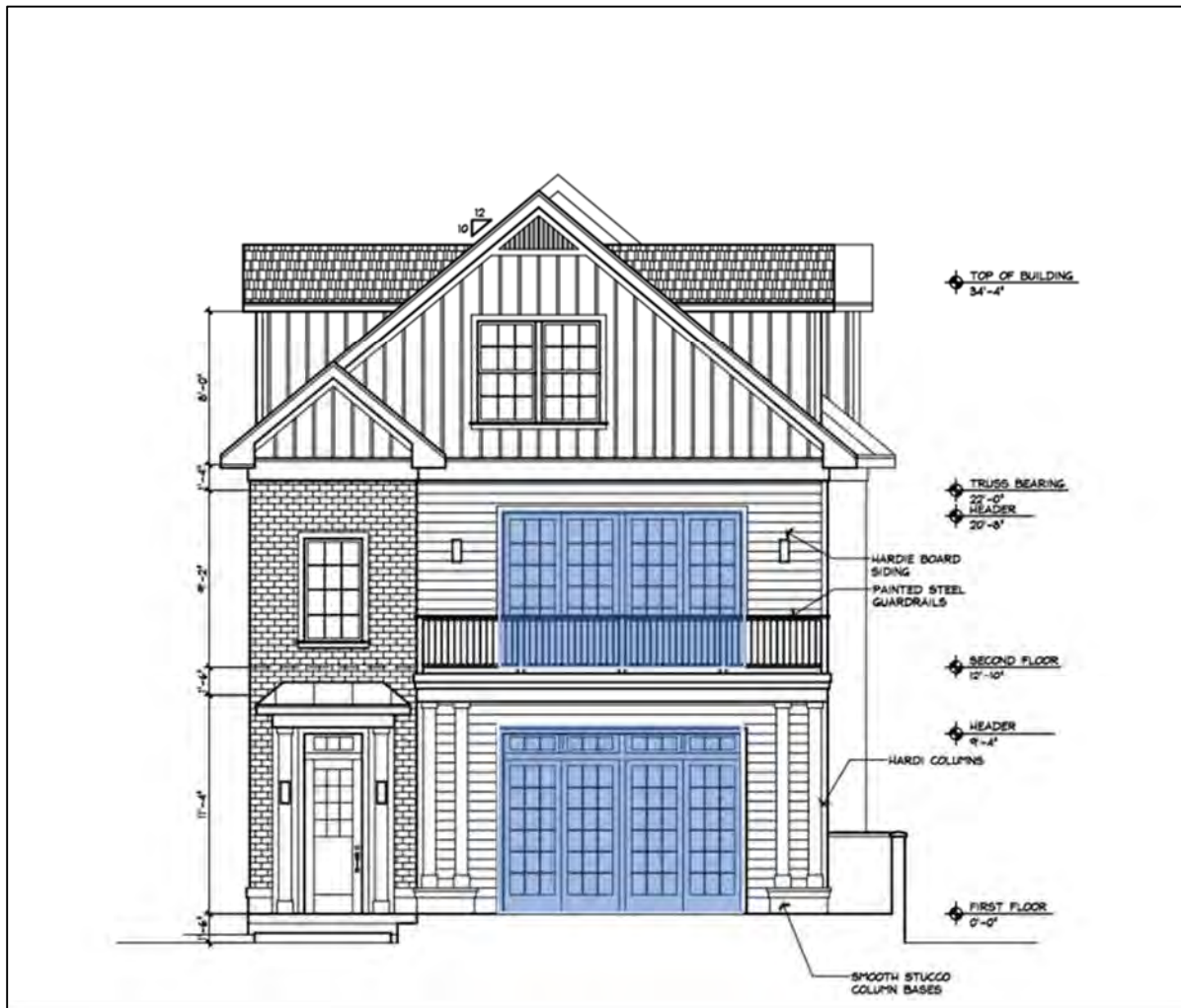


Figure 10: Front French doors are not found in the subject district historically

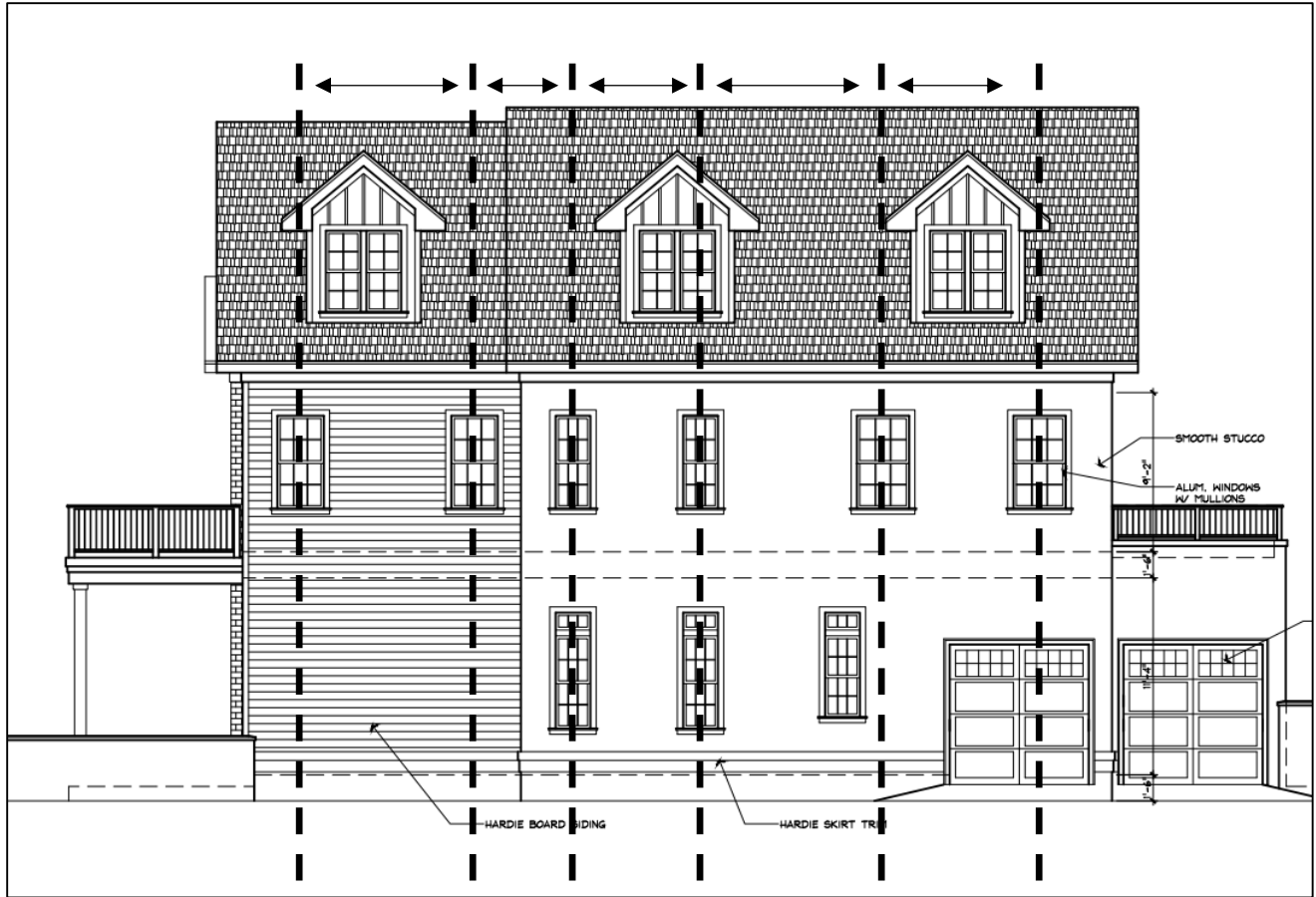


Figure 11: The proposed residence features an atypical and arrhythmic arrangement of window openings, particularly at its south, street-side elevation

Entrance, Projections, and Balconies

- 2.5 story buildings do not exist within district.
- The articulated brick extension is out of context.
- Gallery-type porch does not have precedent in the subject district, or on single family residences in St. Petersburg generally.
- Dormers are oversized at 7-8 feet deep and approximately 11 feet high.

Materials

The proposed residence utilizes numerous exterior and roof cladding materials, which is not typical to the district. Contributing residences in the subject property often feature one primary cladding material (often wood lap siding) with a secondary material introduced to highlight small features such as a dormer or gable vent. Front porches and piers are sometimes constructed of brick or concrete block, which is used sparingly to highlight these elements.

The proposed residence is comprised of a faux-wood lap siding façade with a slightly articulated bay of brick veneer siding, and side elevations that combine lap siding and stucco. Both the façade and side elevations feature vertical siding details at gable ends and dormers. This number of siding materials is highly incompatible with contributing resources in the subject district and creates visual clutter.

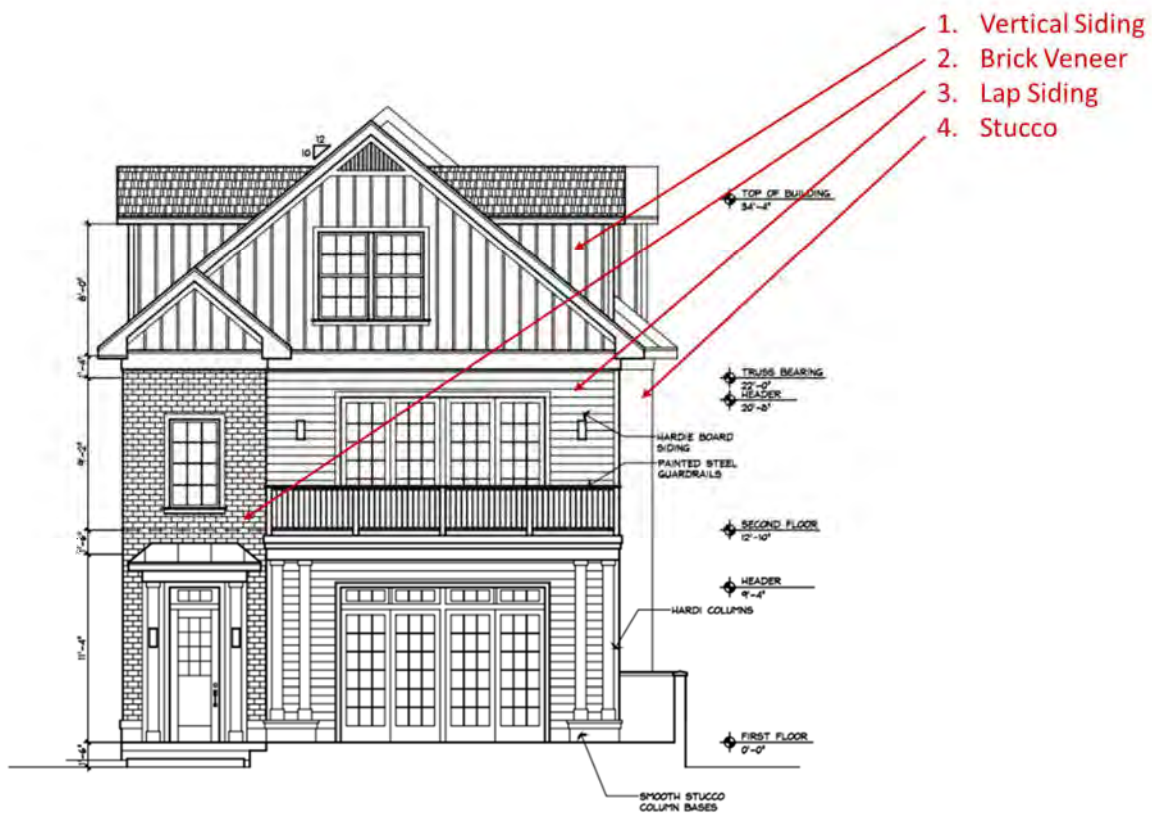


Figure 12: The proposed residence features an excessive number of siding materials

A mansard roofed entrance portico, with what appears to be a standing-seal metal roof, is additionally proposed. Both the roof shape and material proposed by this feature are inappropriate for the subject district. Roofs throughout the subject district tend to be clad in asphalt shingle and staff suggests that this material be used in any new construction as well.

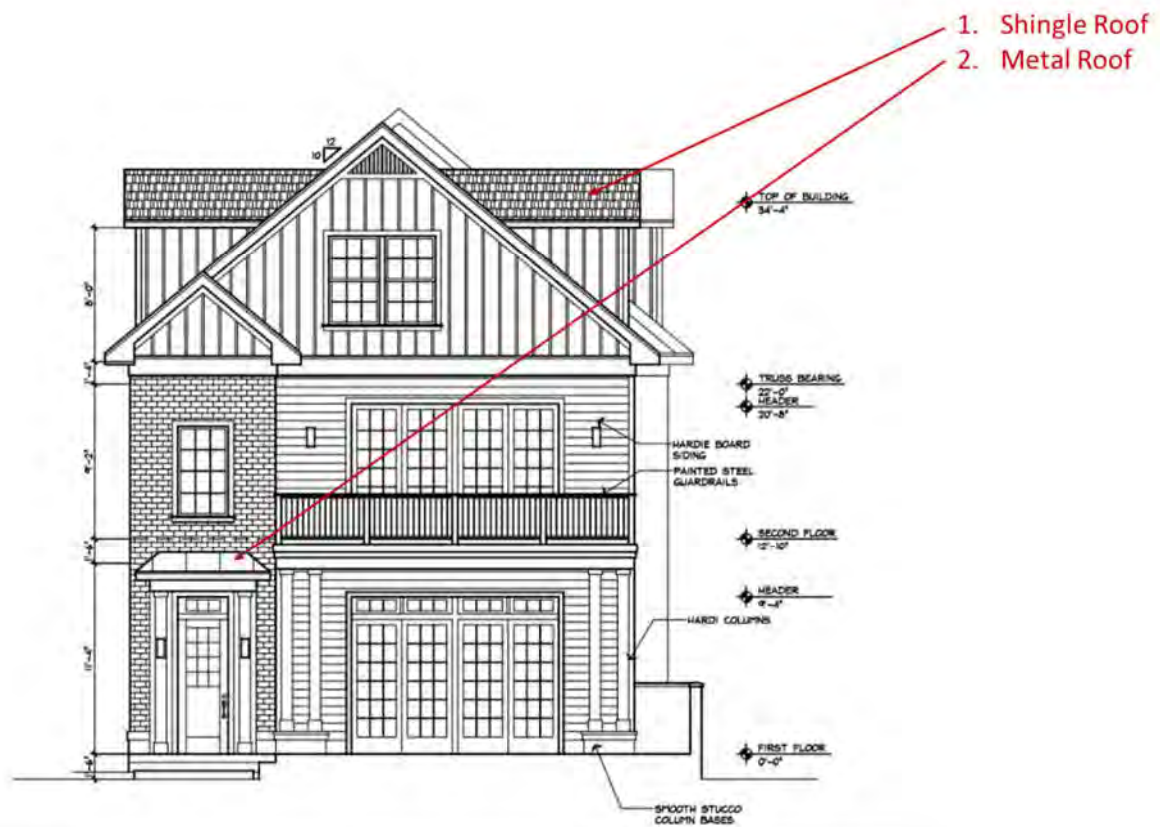


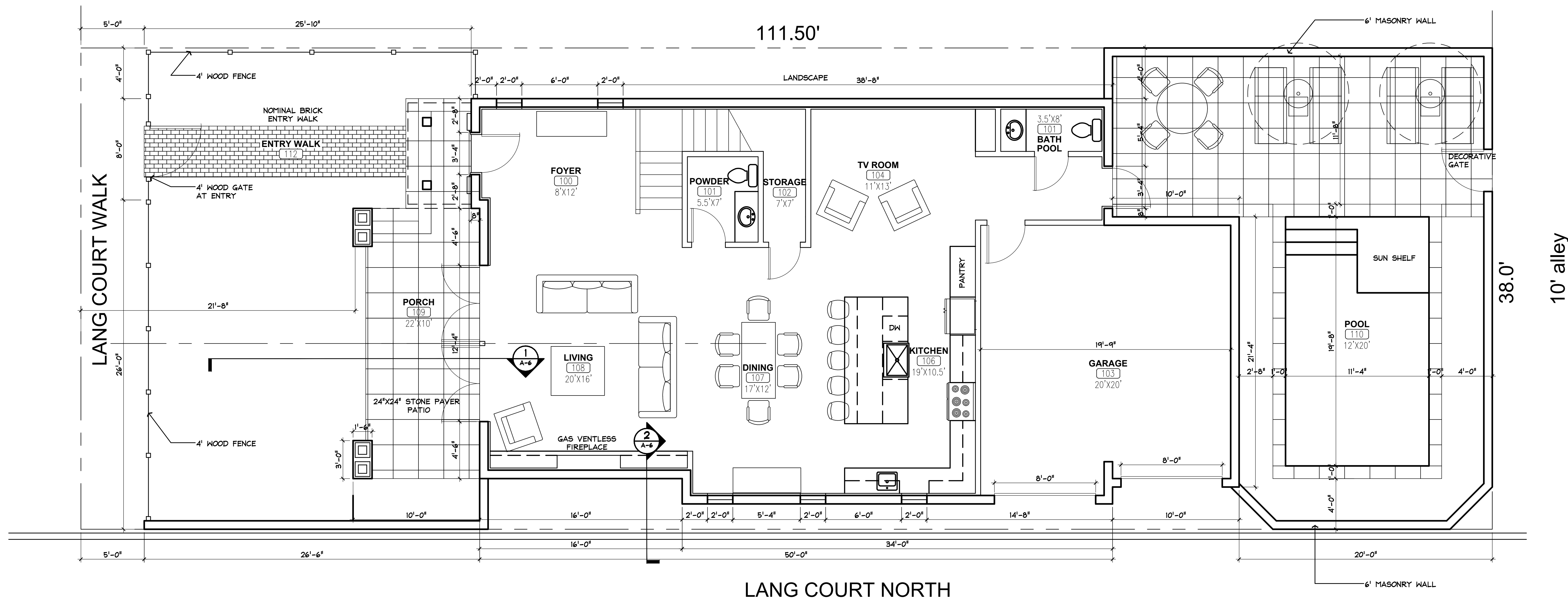
Figure 13: Staff recommends an asphalt or composition shingle roof

Conclusion and Recommendations

Staff finds the October 18 Revisions to the proposed residence at 335 Lang Ct. N. to be insufficient to address concerns with the proposal's incompatibility with the subject district. Because of its submittal date, the application can be forwarded to the Community Planning and Preservation Commission for review at their January 11, 2022 hearing, though staff will recommend denial of the application for a Certificate of Appropriateness for new construction. Staff recommends that the applicant consider the following changes to the proposal to create a more compatible design:

1. Visual reduction of the height and scale through the reduction or elimination of proposed dormers and reduction of the building's height to total 1.5 or 2 stories.
2. Use of cladding materials as they are historically applied in the district. One primary material (often lap siding) with accents of a second (for e.g., wood shingles) is most common among contributing resources.
3. Consistency of window openings and configuration, both within the proposed residence and with examples found historically in the district.
4. Reducing or eliminating the bulk of enclosed space within the traditional setback.
5. Eliminating the use of French doors at the façade.
6. Replacing the gallery-style front porch with a traditional porch form.

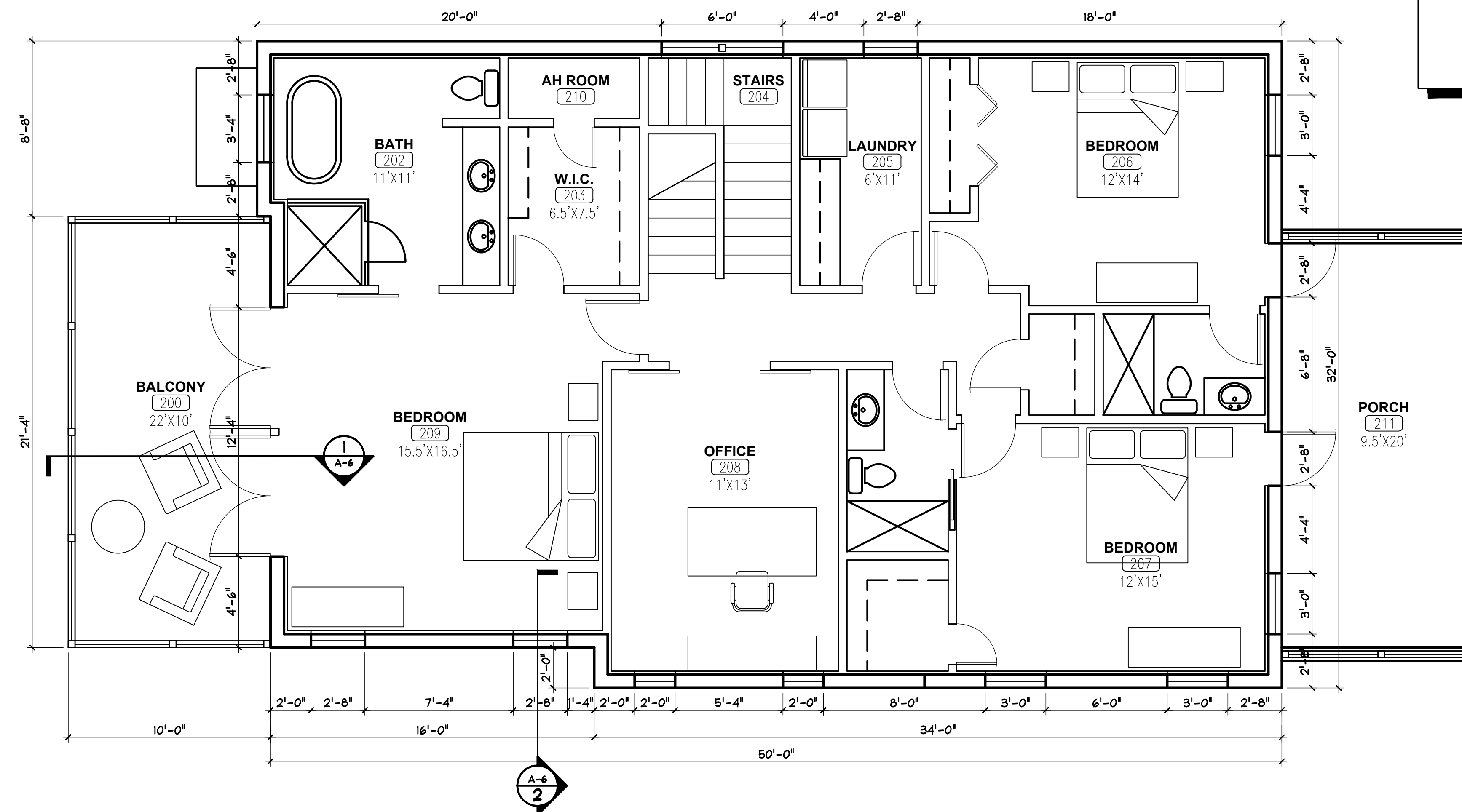
7. Eliminating excessive roof forms, including that above the brick bay at the entrance and the metal-clad mansard portico, neither of which has precedent in the subject district.
8. Employing symmetry and rhythm to create balance among openings.



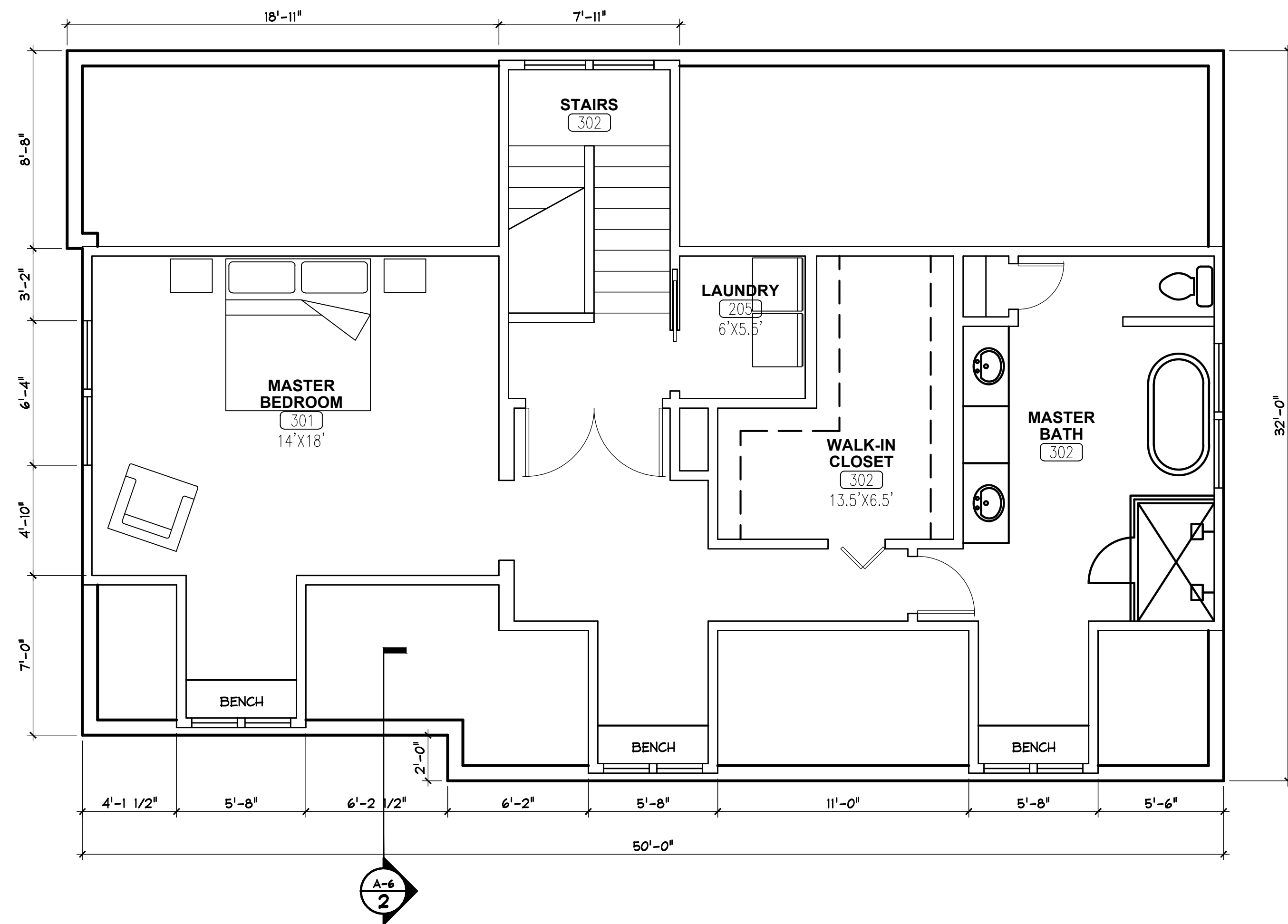
1 SITE / FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5 FEET

BUILDING AREAS:	
LIVING, FIRST FLOOR:	1344 SF
LIVING, SECOND FLOOR:	1574 SF
LIVING, THIRD FLOOR:	978 SF
PORCHES:	642 SF
GARAGE:	442 SF
<hr/>	
TOTAL LIVING	3,896 SF
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TOTAL UNDER ROOF	4,723 SF

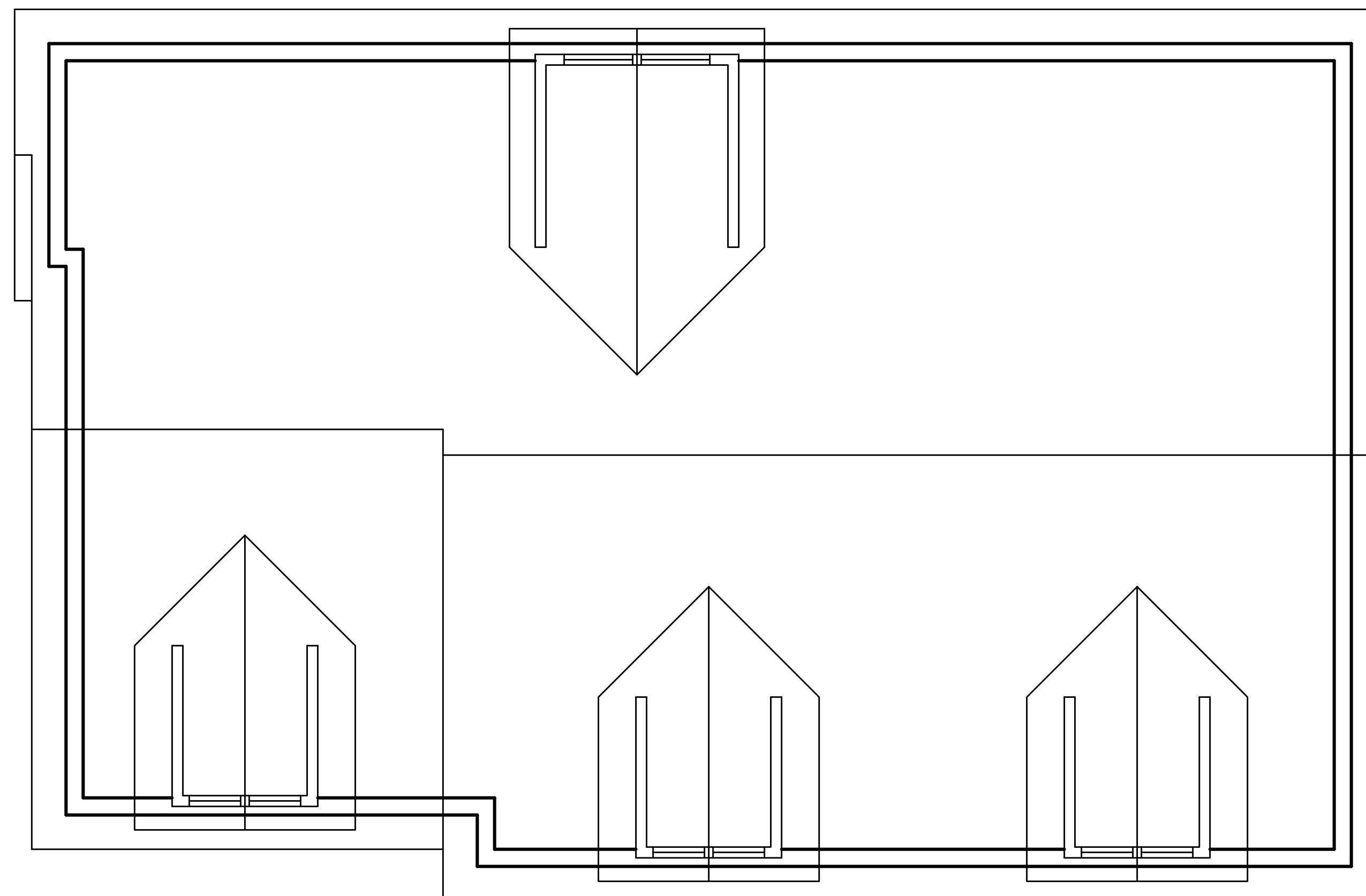
LOT ZONING:	
SETBACKS	
FRONT:	21.5' FEET TO PORCH, 31.5' TO HOUSE
SIDES:	2-4 FEET
REAR:	20 FEET
35' MAX. HEIGHT	



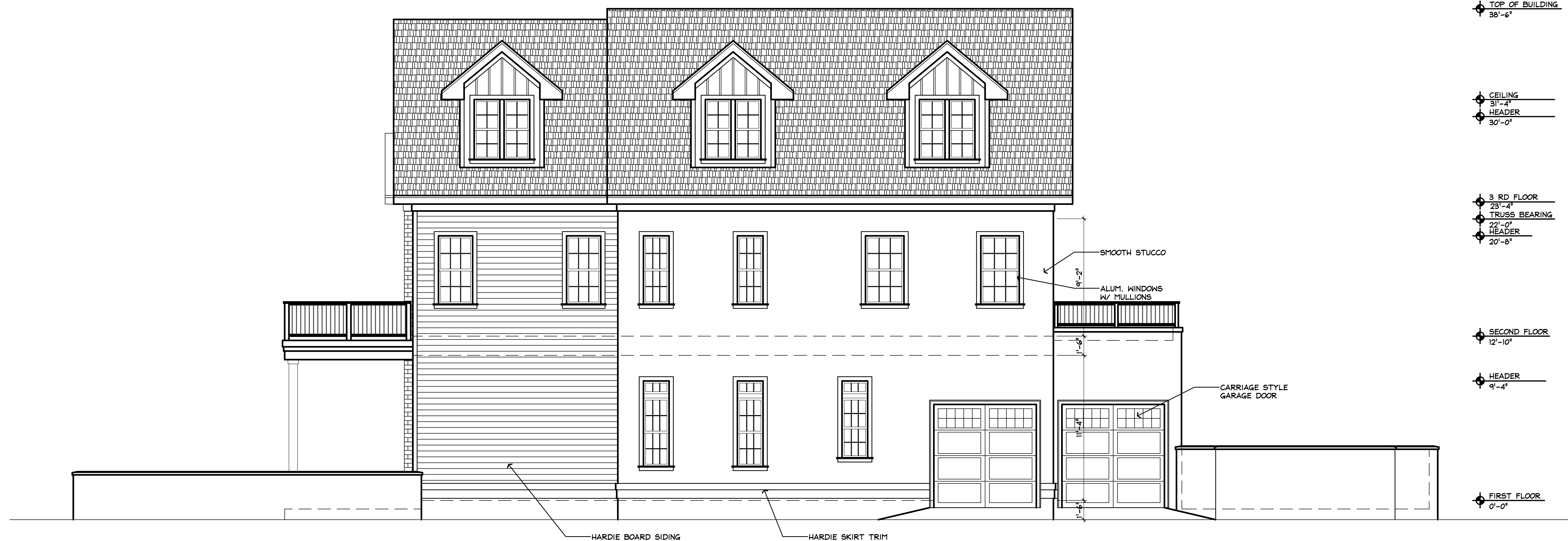
1 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



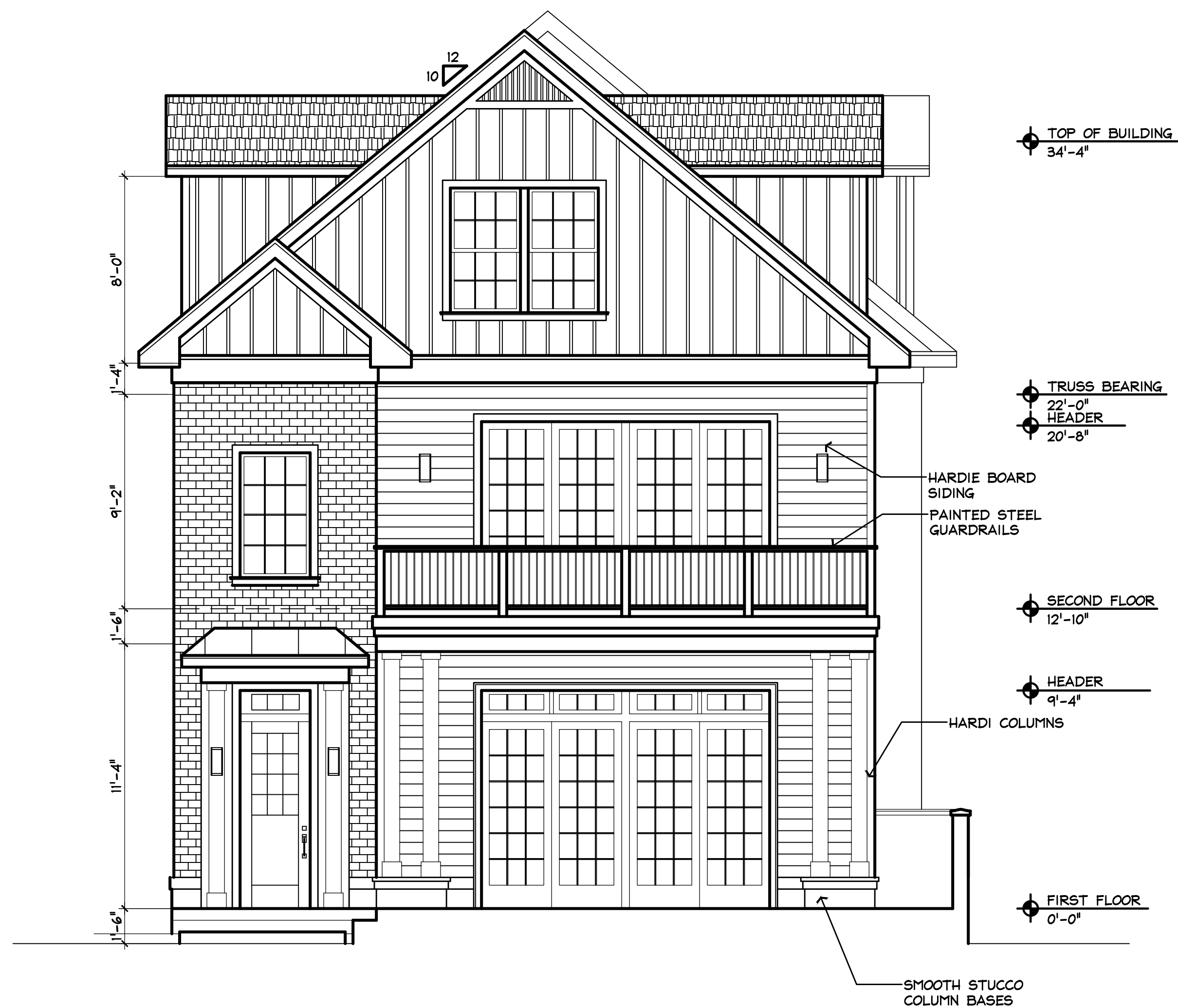
1 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 FEET



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0" FEET



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0" FEET

TOP OF BUILDING
38'-6"

CEILING
31'-4"
HEADER
30'-0"

3 RD FLOOR
23'-4"
TRUSS BEARING
22'-0"
HEADER
20'-8"

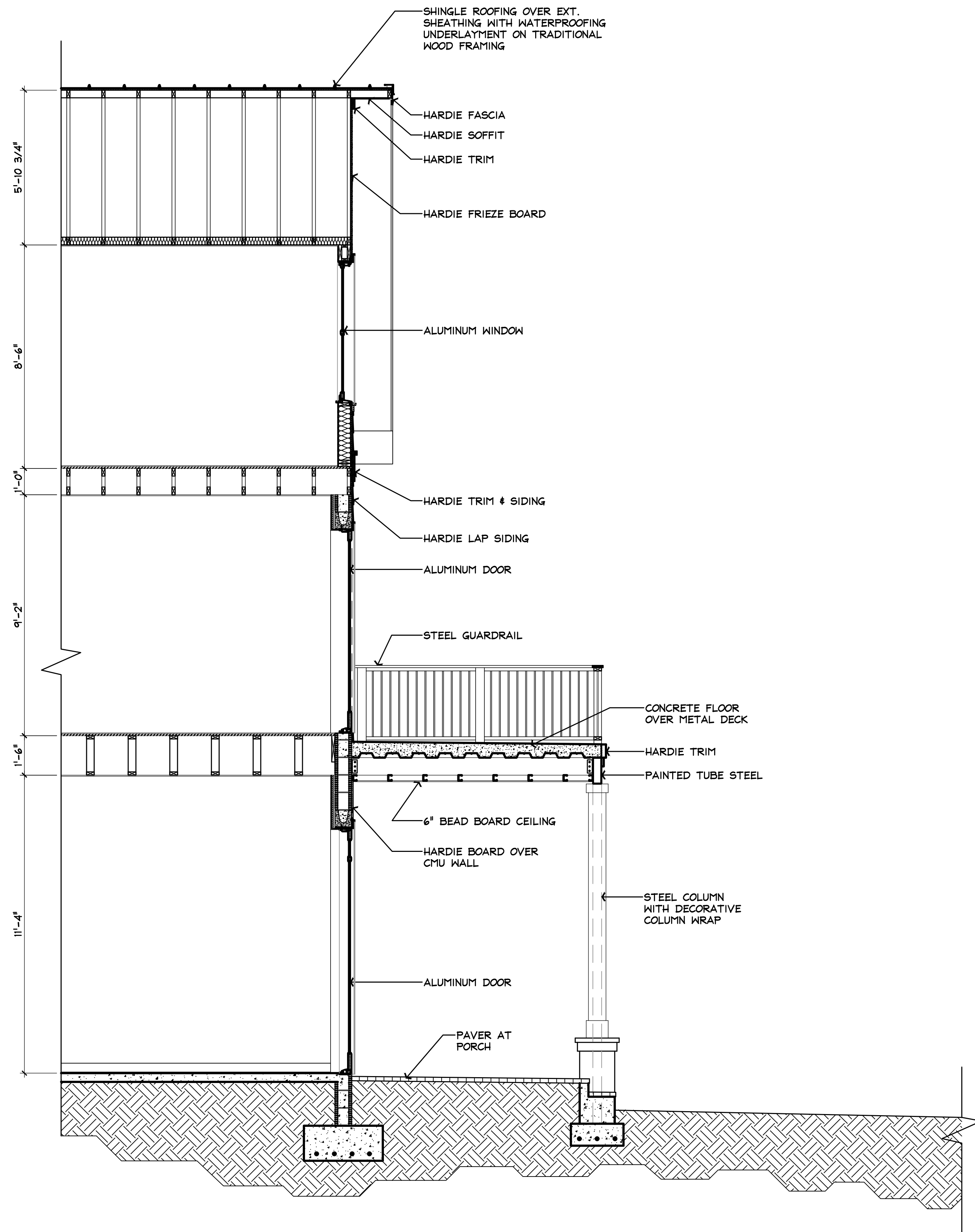
SECOND FLOOR
12'-10"

HEADER
9'-4"

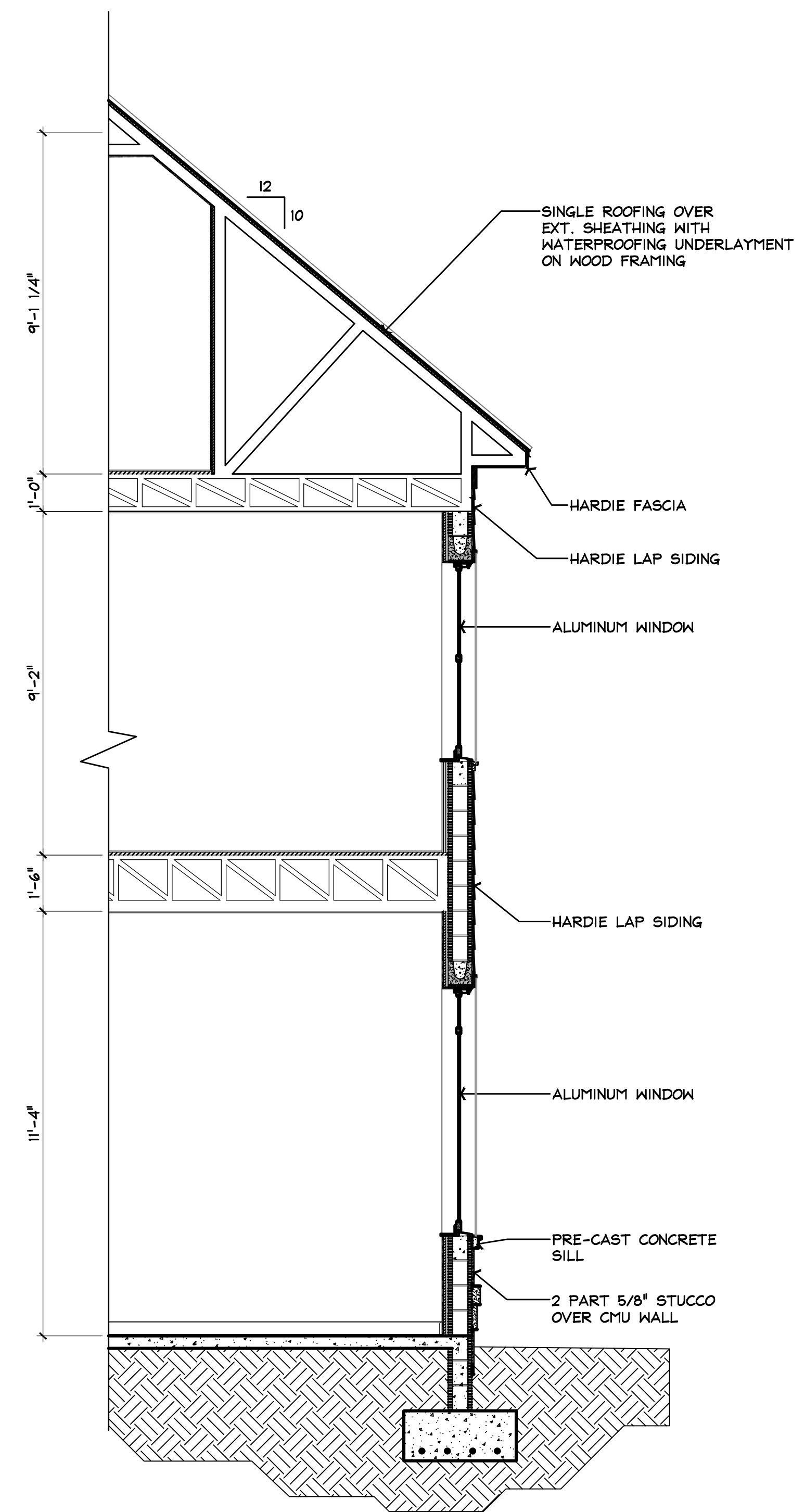
FIRST FLOOR
0'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 POOL FACING SECTION
 SCALE: 3/8" = 1'-0"
 0 1 2 3 4 5 6 FEET



2 TYPICAL WALL SECTION
 SCALE: 3/8" = 1'-0"
 0 1 2 3 4 5 6 FEET

Appendix D:

Public Comment



January 31, 2022

Derek and Liz:

Preserve the 'Burg has reviewed the updated plans for 335 Lang Court. We are excited about the prospect of a new single-family home for the presently vacant lot. It also appears that the applicant has responded to a number of the issues raised by staff as to earlier proposals. However, we believe additional modifications to the proposed design will result in a home more suitable to the Lang Court Historic District, reinforcing its unique character.

Local code requirements for the property are complicated. The location requires meeting the COA requirements for new construction as well as those for DC-2 zoned properties, the city's parking matrix requirements and those for the redevelopment of grandfathered uses. Additionally, the Design Guidelines for Historic Properties should be considered. Some of the issues still requiring attention include:

- The Design Guidelines state the distance between the District's contributing buildings range from 7 to 20 feet. At three feet, the side setbacks for 335 Lang Ct. appear to be inconsistent with code requirements, including the DC-2 requirement set forth in sec. 16.20.120.7 for minimum distance between buildings. While some contributing properties have reduced setbacks, the smaller side setback is typically only seen on one side of the property.
- With a living area in excess of 3,000 square feet, the FAR for 335 Lang Ct. appears to be substantially larger than the FAR for the District's contributing properties. Property appraiser records show seven of the ten contributing homes have less than 2,000 square feet of living area, with the largest being 2,239 square feet. The Design Guidelines describe the contributing homes as relatively small-scale craftsman Bungalows.
- The proposed home appears to be inconsistent with the "redevelopment of grandfathered use" requirement set forth in sec. 16.70.040.1.15.E, providing that structures **shall be required to match** the predominant building type, setbacks and scale in the block face across the street or abutting residential uses and, similarly, with the COA requirement for new construction set forth in sec. 16.30.070.2.6.G. that the height and scale of the proposed new construction shall be visually compatible with contributing resources.
- The plan shows two parking spaces; parking requirements for a four bedroom home as set forth in the parking matrix require three.
- Much of the home's facades appear to be inconsistent with the fenestration patterns found on the District's contributing resources and with the COA guideline calling for windows, door openings, porches and balconies to be visually compatible with contributing resources in the District. In particular, the first floor north façade is blank for nearly 40 feet and a double set of french doors on the front façade is not seen on other contributing resources.

More generally, this matter illustrates the incompatibility of the DC zoning designation for Lang Court. We urge staff and the Commission to separately recommend to City Council a more appropriate zoning category such as NT-1.

Sincerely,

/s/

Peter Belmont,
Advocacy Chair



Appendix D:

Maps of Subject Property

1. Aerial Location Map
2. Zoning Map
3. Surrounding Uses Map



Community Planning and Preservation Commission

335 Lang Ct N

AREA TO BE APPROVED,

SHOWN IN

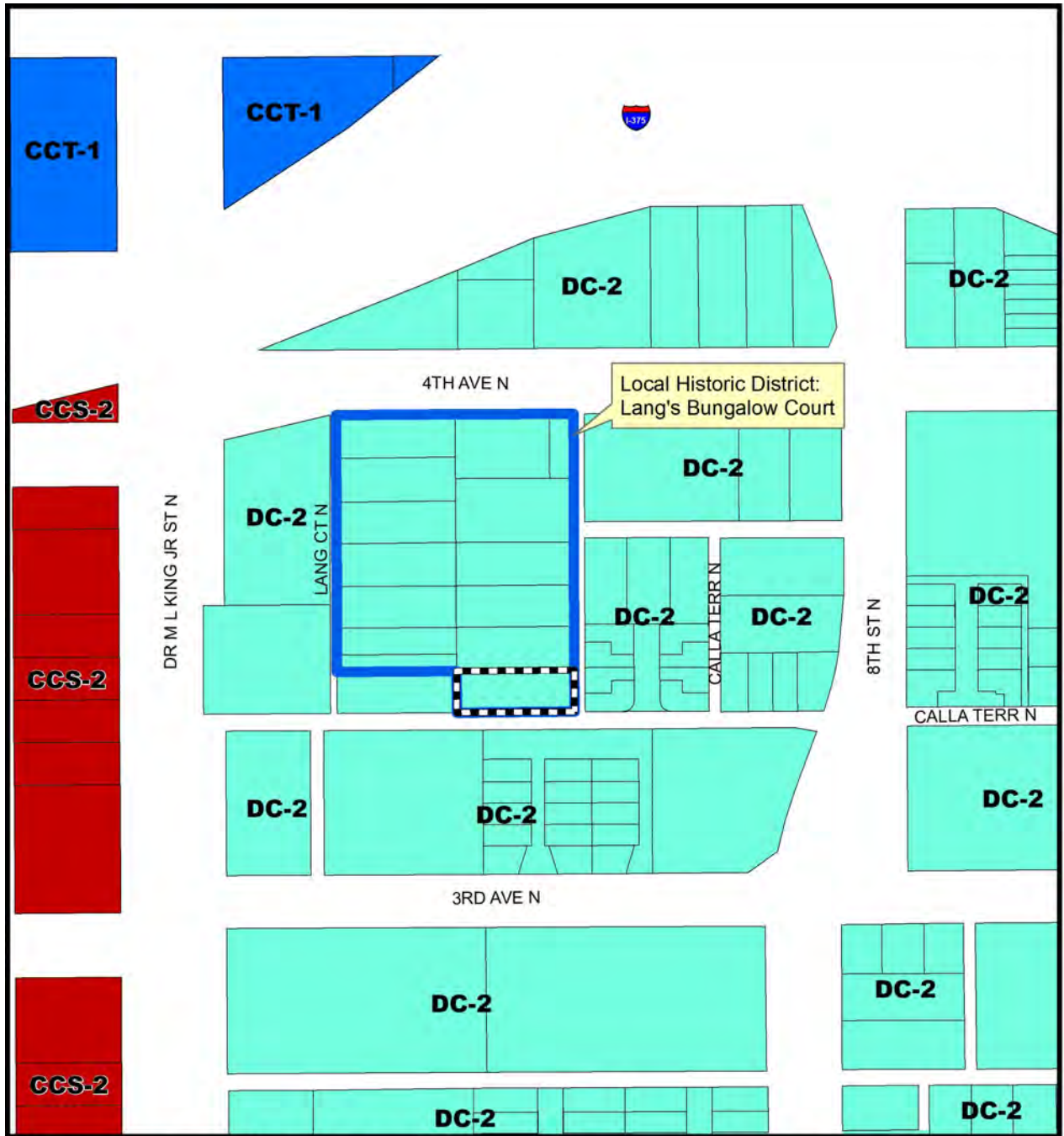




CASE NUMBER

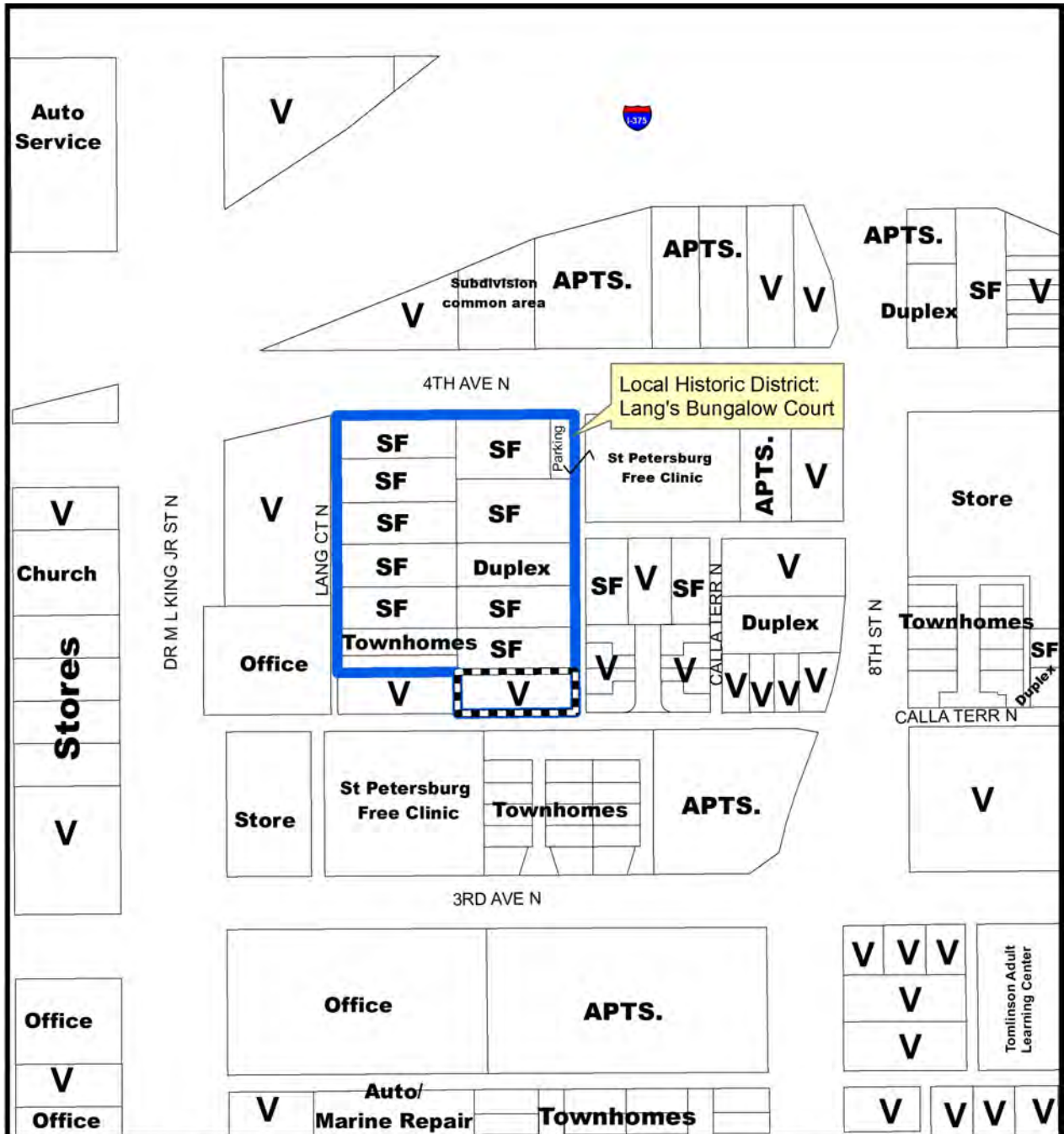
22-51000001





SCALE:
1" = 133'



Community Planning and Preservation Commission		 N SCALE: 1" = 133'
335 Lang Ct N	Zoning	
AREA TO BE APPROVED, SHOWN IN 	CASE NUMBER 22-51000001	



Community Planning and Preservation Commission		 SCALE: 1" = 133'
335 Lang Ct N	Surrounding Uses	
AREA TO BE APPROVED, SHOWN IN 	CASE NUMBER 22-51000001	